

# UNITING St COLUMBA'S

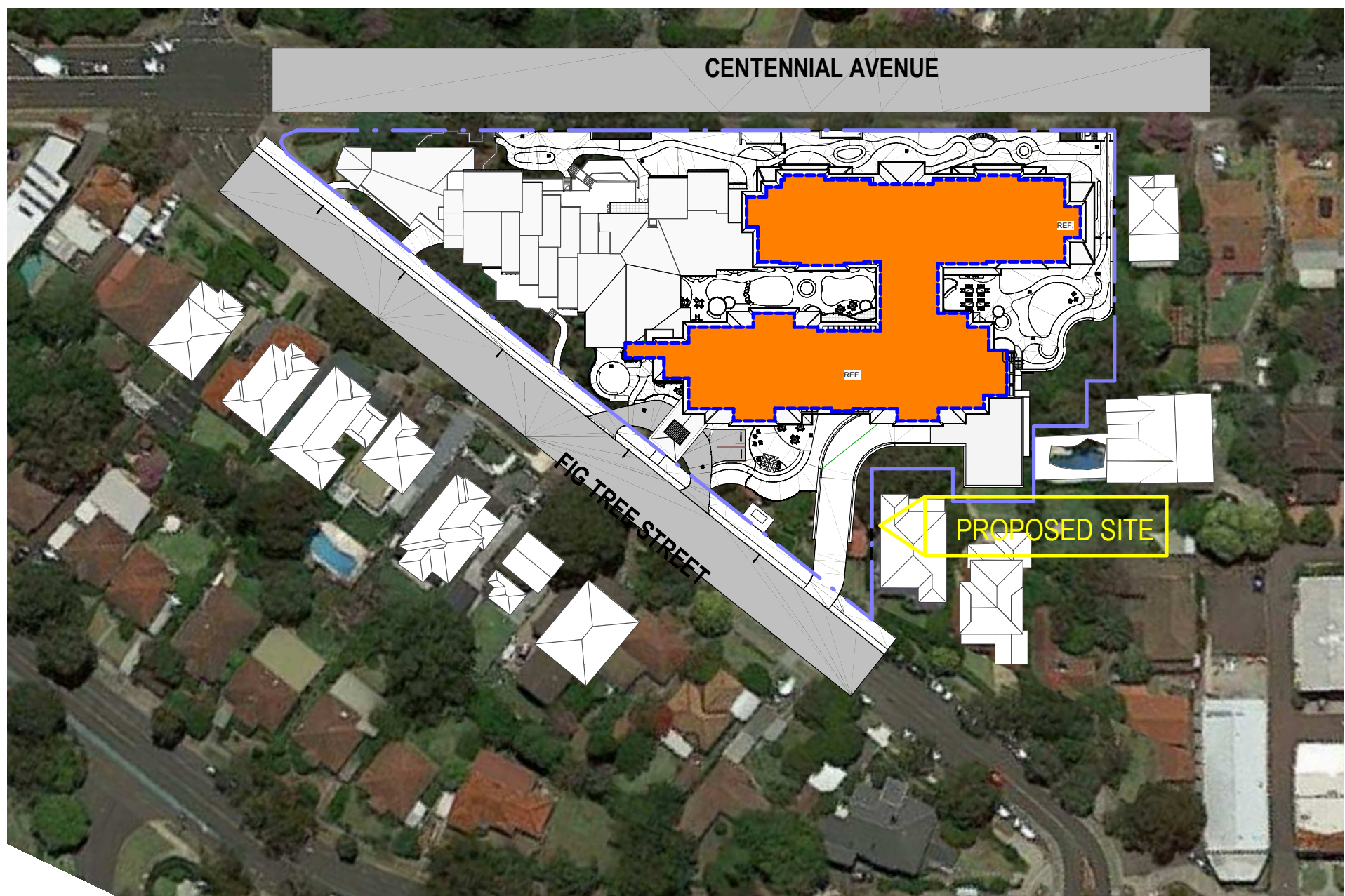
11-15 FIG TREE STREET, LANE COVE

LOT 2 DP184731

LOTS A, B, C & D DP385033

LOTS 1, 2 & 3 DP339444

## DEVELOPMENT APPLICATION

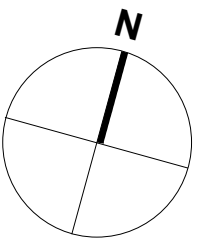


1 LOCATION PLAN  
SCALE 1 : 1000

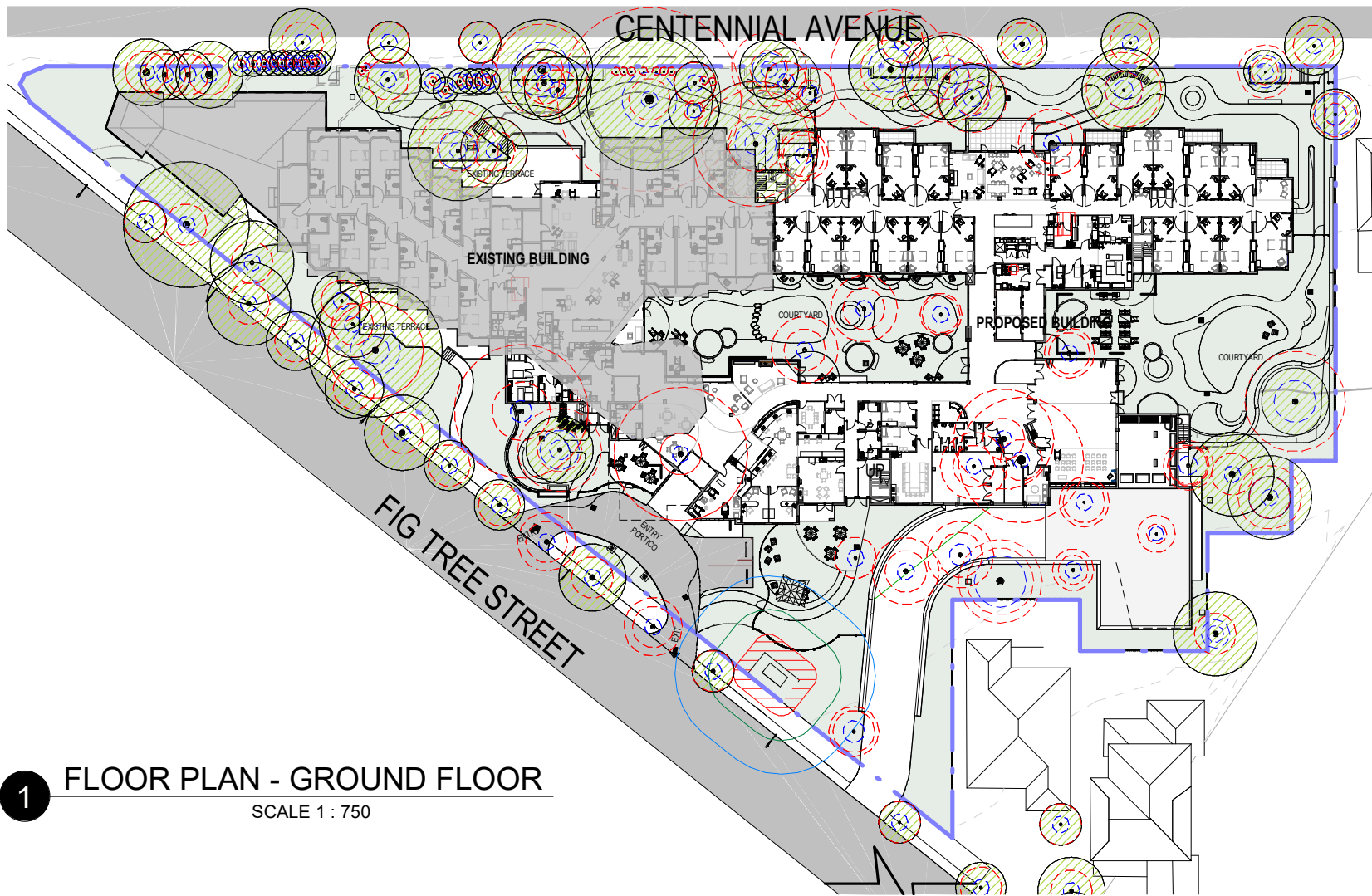


### DRAWING REGISTER - DEVELOPMENT APPLICATION

DRAWING NO.	REVISION	DRAWING TITLE
DA001	DA02	COVER SHEET
DA010	DA03	NOTIFICATION PLAN
DA050	DA04	PROPOSED SITE CONTEXT PLAN
DA060	DA01	EXISTING CONTEXT SITE ANALYSIS
DA061	DA03	EXISTING SITE PLAN / DEMOLITION PLAN
DA063	DA04	PROPOSED CONTEXT SITE ANALYSIS
DA064	DA04	PROPOSED SITE PLAN
DA080	DA01	DEMO PLAN - BASEMENT FLOOR
DA081	DA02	DEMO PLAN - GROUND FLOOR
DA082	DA01	DEMO PLAN - FIRST FLOOR
DA083	DA01	DEMO PLAN - ROOF PLAN
DA090	DA04	PROPOSED SITE ALLOTMENT PLAN
DA101	DA02	LEVEL -01 - BASEMENT FLOOR PLAN
DA102	DA04	LEVEL 00 - GROUND FLOOR PLAN
DA102.1	DA01	LEVEL 00 - GROUND FLOOR SETBACK PLAN
DA103	DA04	LEVEL 01 - FIRST FLOOR PLAN
DA104	DA03	LEVEL 02 - SECOND FLOOR PLAN
DA108	DA02	LEVEL RF - ROOF PLAN
DA200	DA02	SITE ELEVATIONS
DA201	DA02	ELEVATIONS SHEET 1 - NORTH
DA202	DA04	ELEVATIONS SHEET 2 - EAST
DA203	DA01	ELEVATIONS SHEET 3 - SOUTH
DA204	DA02	ELEVATIONS SHEET 4 - WEST
DA205.1	DA02	CENTRAL COURTYARD ELEVATIONS
DA205.2	DA02	EASTERN COURTYARD ELEVATIONS
DA206	DA03	ELEVATION SHEET 5 - SOUTH (FIG STREET) & NORTH (CENTENNIAL AVENUE)
DA207	DA01	ELEVATION SHEET 6 - MATERIAL - SOUTH (FIG STREET) & NORTH (CENTENNIAL AVENUE)
DA210	DA01	ELEVATIONS SHEET 1 - MATERIAL - NORTH
DA211	DA02	ELEVATIONS SHEET 2 - MATERIAL - EAST
DA212	DA01	ELEVATIONS SHEET 3 - MATERIAL - SOUTH
DA213	DA02	ELEVATIONS SHEET 4 - MATERIAL - WEST
DA214.1	DA02	CENTRAL COURTYARD ELEVATIONS - MATERIAL
DA214.2	DA02	EASTERN COURTYARD ELEVATIONS - MATERIAL
DA301	DA03	SECTIONS - SHEET 1
DA302	DA03	SECTIONS - SHEET 2
DA303	DA03	SECTIONS - SHEET 3
DA304	DA03	SECTIONS - SHEET 4
DA306	DA03	SITE SECTIONS
DA800	DA03	AREA PLANS
DA810	DA04	LANDSCAPE AREA PLAN
DA901	DA03	PROPOSED SHADOW ANALYSIS VS DCP COMPLIANT
DA902	DA03	PROPOSED SHADOW ANALYSIS VS DCP COMPLIANT
DA920	DA01	DCP ENVELOPE ANALYSIS
DA921	DA02	SEPP ENVELOPE ANALYSIS







1 FLOOR PLAN - GROUND FLOOR  
SCALE 1 : 750



2 NORTH ELEVATION  
SCALE 1 : 500



3 SOUTH ELEVATION  
SCALE 1 : 500

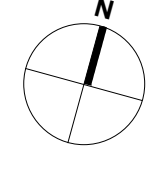
architecture  
interior design  
project management  
NRM AND REG ARCHITECTS (Q) CLUBHOUSE 1001  
ACTN 001 095 240 ACTN 001 095 240 ACTN 001 095 240 ACTN 001 095 240  
NRM 001 095 240 ACTN 001 095 240 ACTN 001 095 240 ACTN 001 095 240

CLIENT  
**Uniting**

PROJECT  
**UNITING ST COLUMBA'S**  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

© Copyright  
These drawings and designs and the copyright thereof are the property of Morrison Design Partnership Pty Ltd, and must not be used without the written permission of Morrison Design Partnership Pty Ltd. ACD001 095 240  
BM 360/03108 - Uniting St Columba Lane Cove/3108 - Uniting St Columba CENTRAL(V20).rvt

DRAWING  
TITLE  
**NOTIFICATION PLAN**



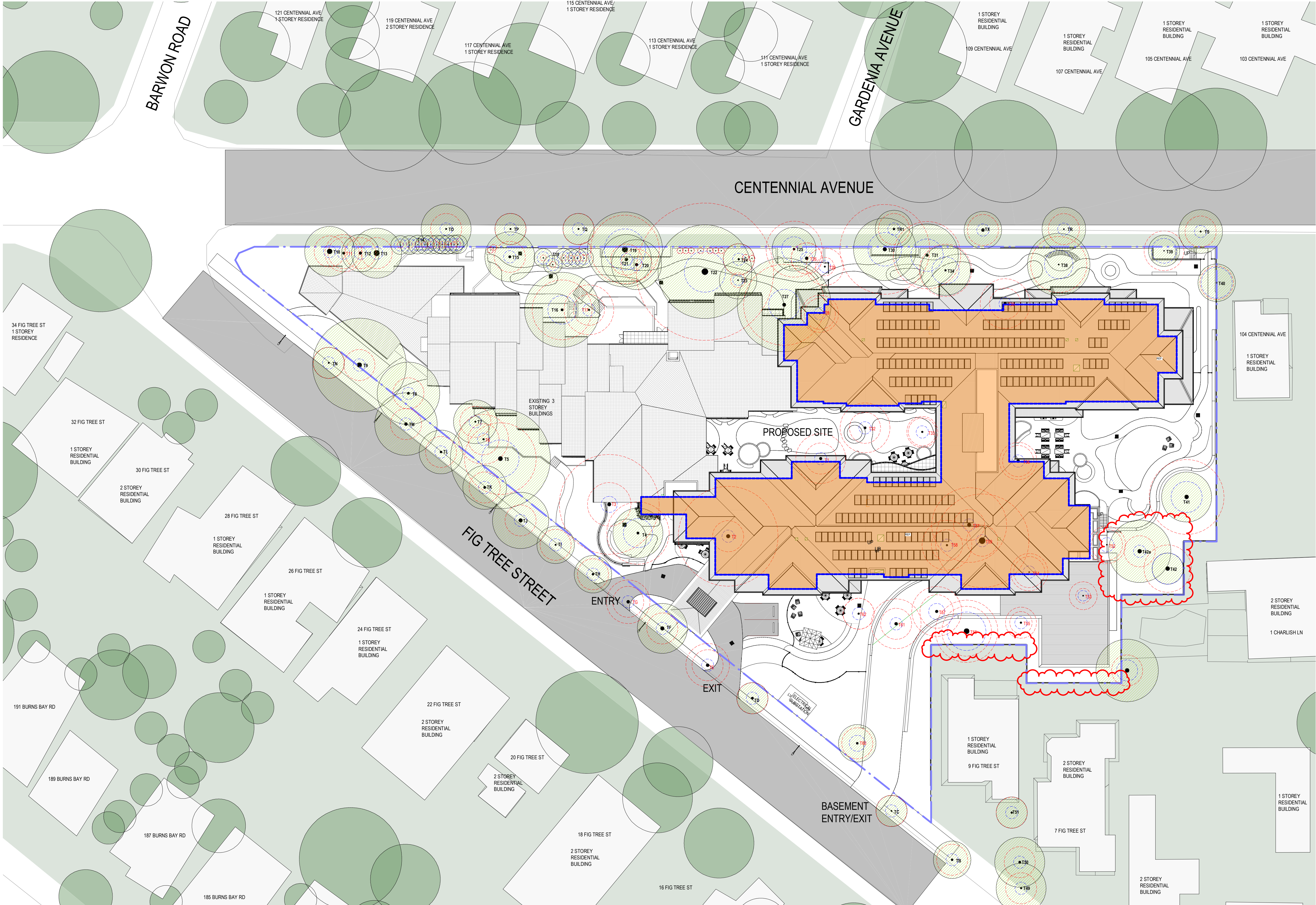
REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	NM	
DA02	2020-08-24	DA ISSUE	NM	
DA03	2020-08-24	DA ISSUE	NM	
DA04	2020-11-10	REV DA ISSUE - Boundary	NM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA010	DA04
SCALE	As indicated on A3	
DRAWN	Author	
PROJECT PRINCIPLE	Collaboration	
DATE	21.10.2016	

Morrison  
Design  
Partnership  
11.11.11



NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



1 PROPOSED SITE CONTEXT PLAN  
SCALE 1: 300

architecture  
interior design  
project management

CLIENT

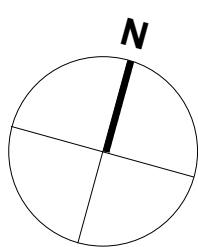
**Uniting**

PROJECT

**UNITING St COLUMBA'S**  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

**PROPOSED SITE CONTEXT PLAN**



REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-09-04	DA ISSUE	MM	
DA04	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA050	DA04

SCALE	As indicated @ A1
-------	-------------------

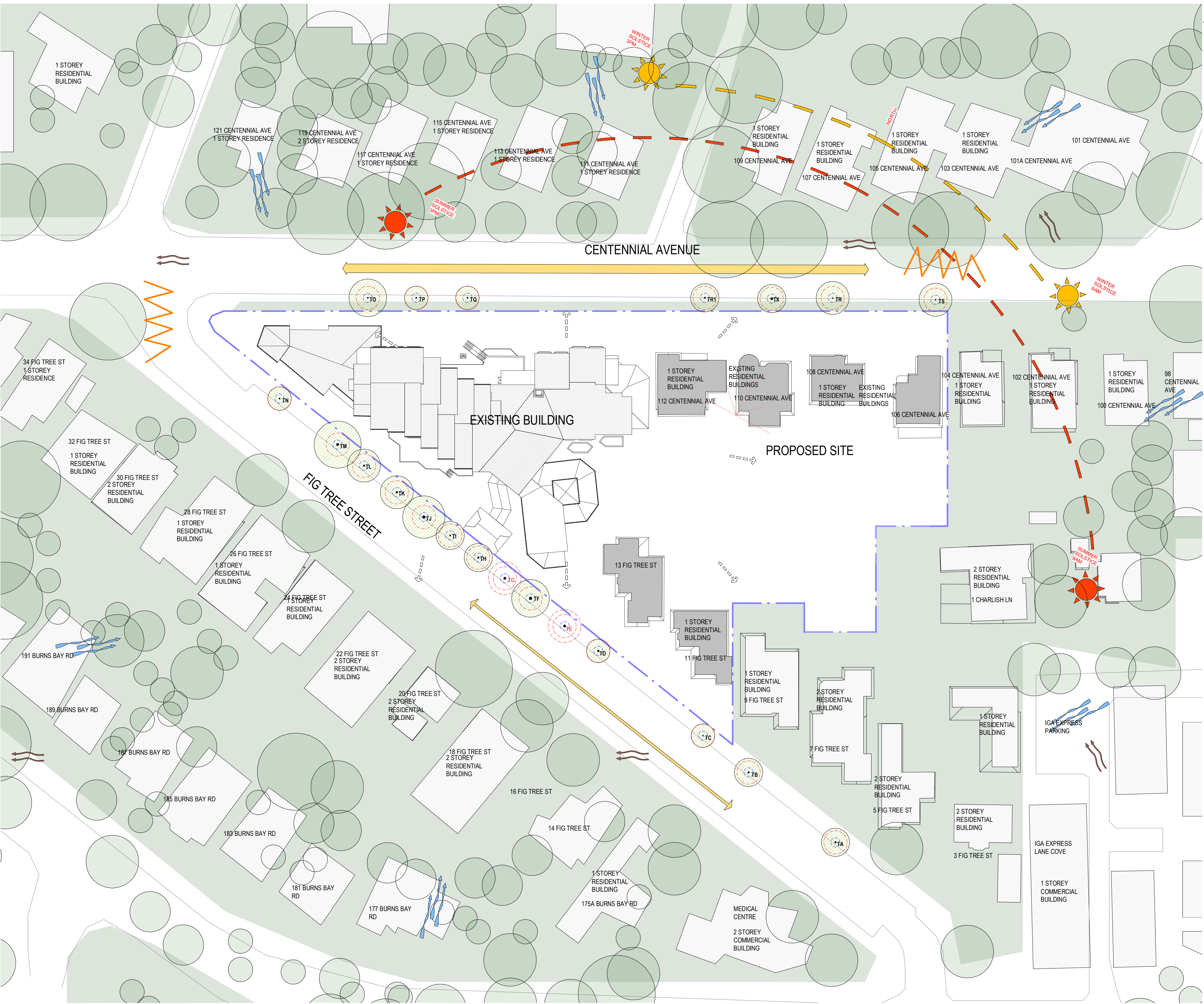
DRAWN	
-------	--

PROJECT PRINCIPLE	G.OLLERTON
-------------------	------------

DATE	27.10.2016
------	------------

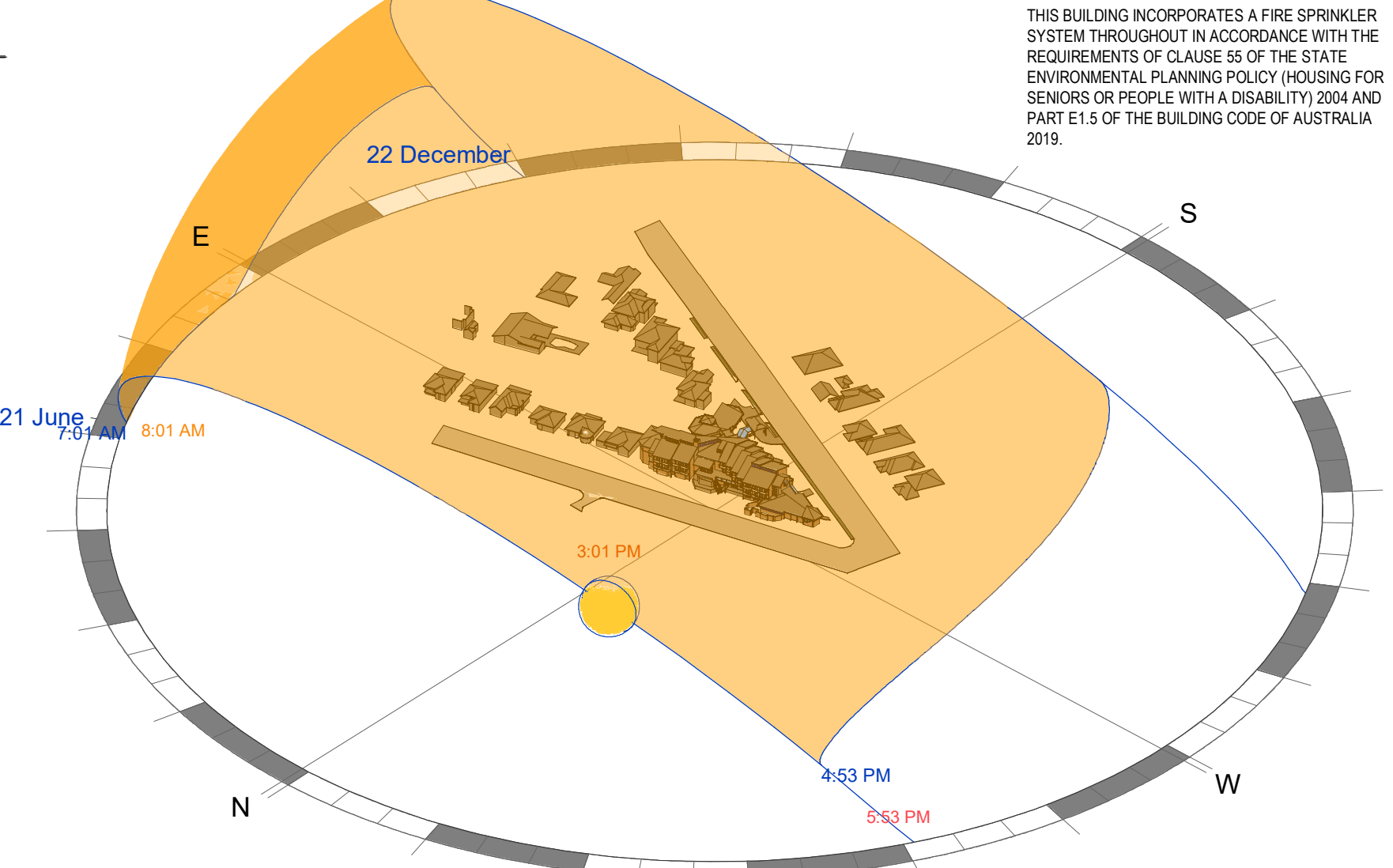
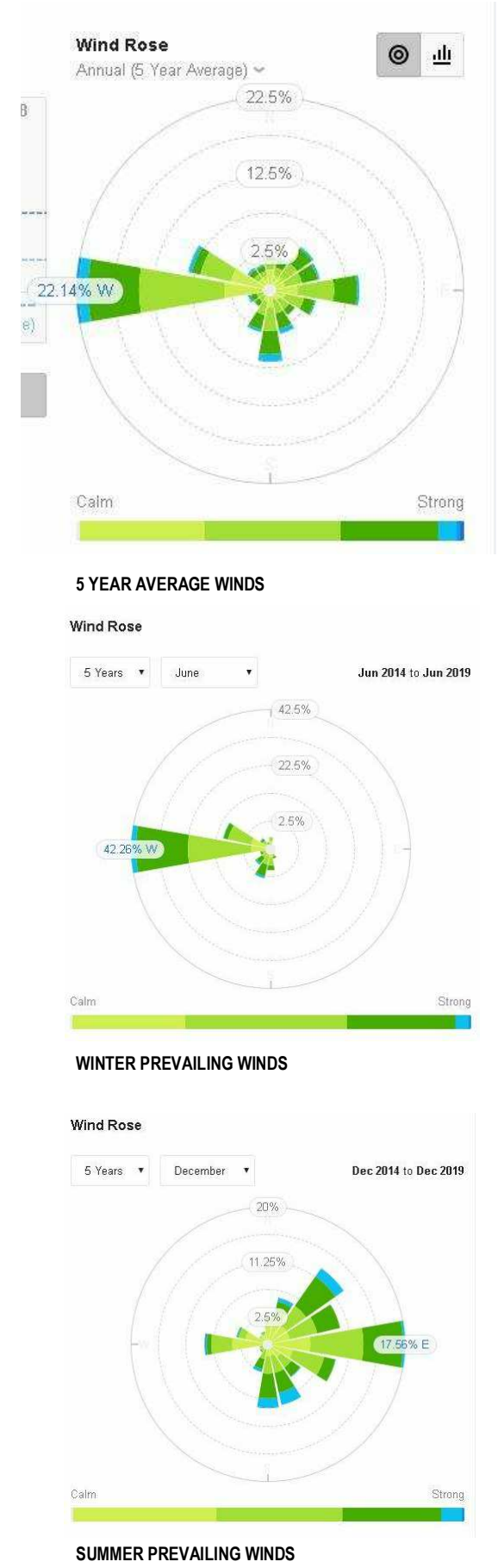
Morrison  
Design  
Partnership  
architects  
Since 1969



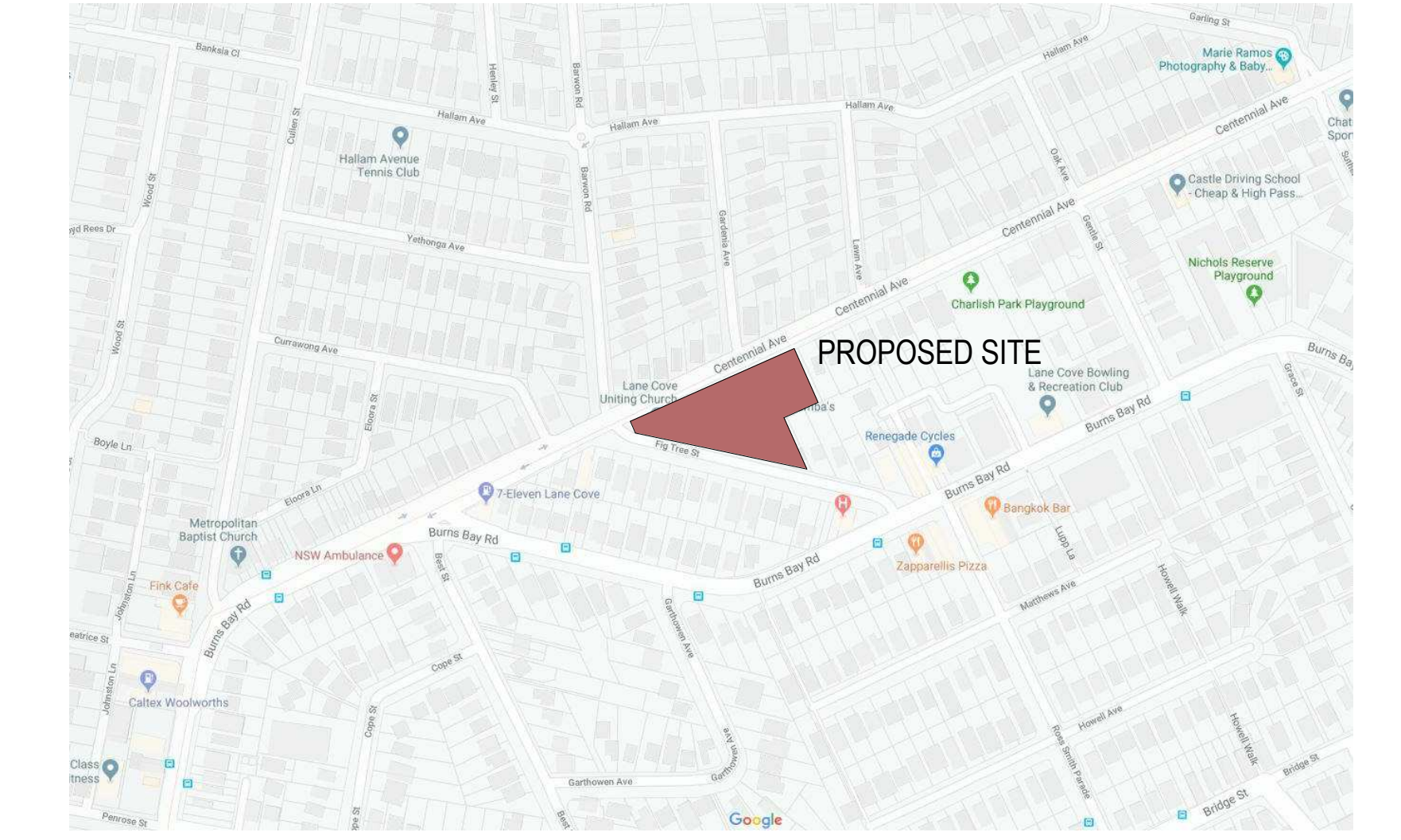
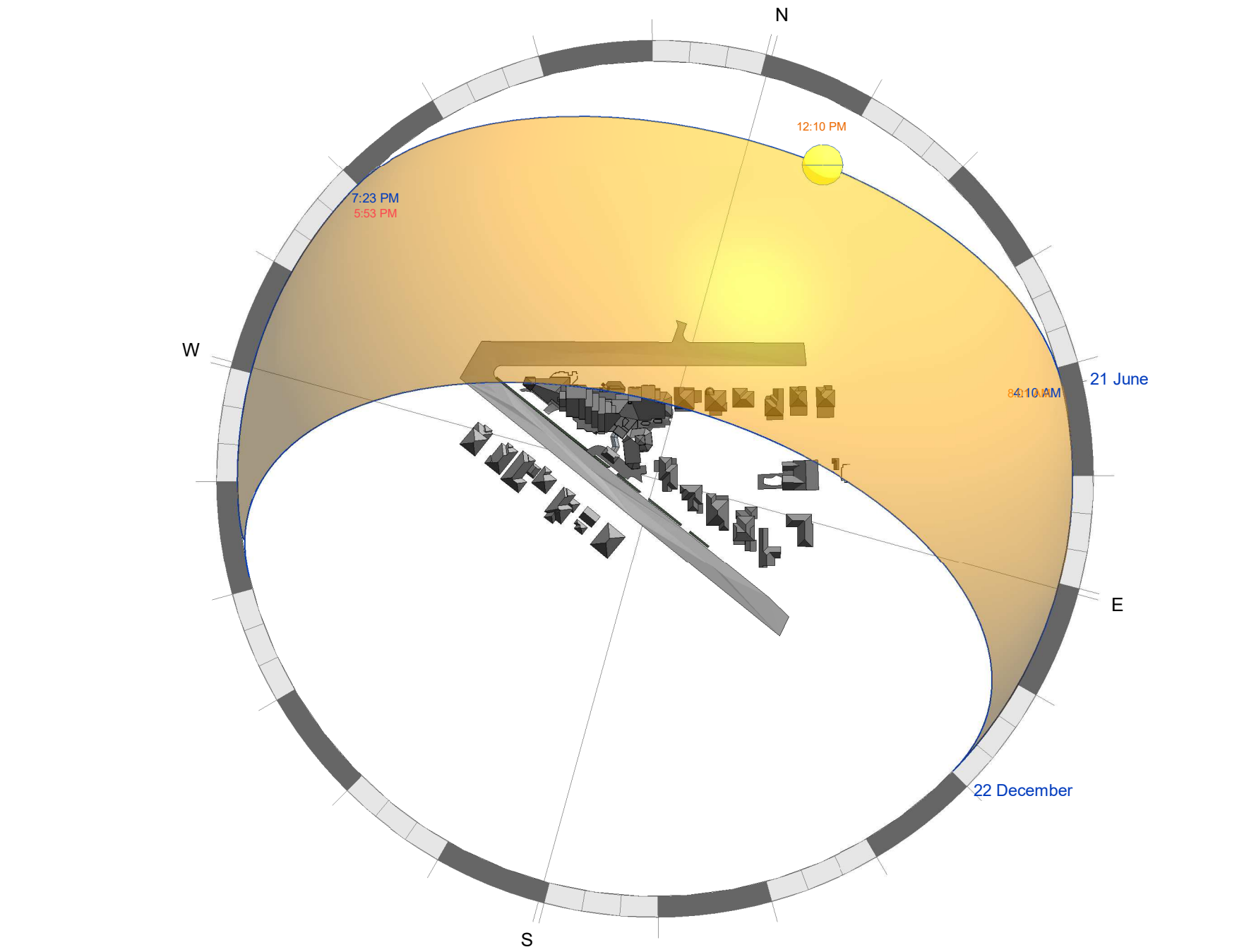


SITE AREA 8004 m<sup>2</sup>

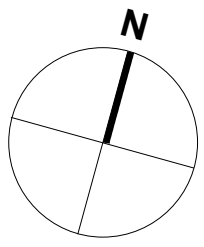
- LEGEND**
- PROPOSED SITE BOUNDARY
  - NEIGHBOURING RESIDENCE
  - VEHICLE MOVEMENT: SLOW
  - FAST
  - SUN PATH
  - PEDESTRIAN MOVEMENT
  - BUS ACCESS
  - NOISE
  - PRIVACY/OVERLOOKING
  - SIGNIFICANT VIEWS
  - WIND DIRECTION
  - BUSHFIRE THREAT
  - DOWNWARD SLOPE
  - SITE CONTEXT EXISTING PLANTING
  - EXISTING SITE PLANTING
  - EXISTING TREE TO BE DEMOLISHED



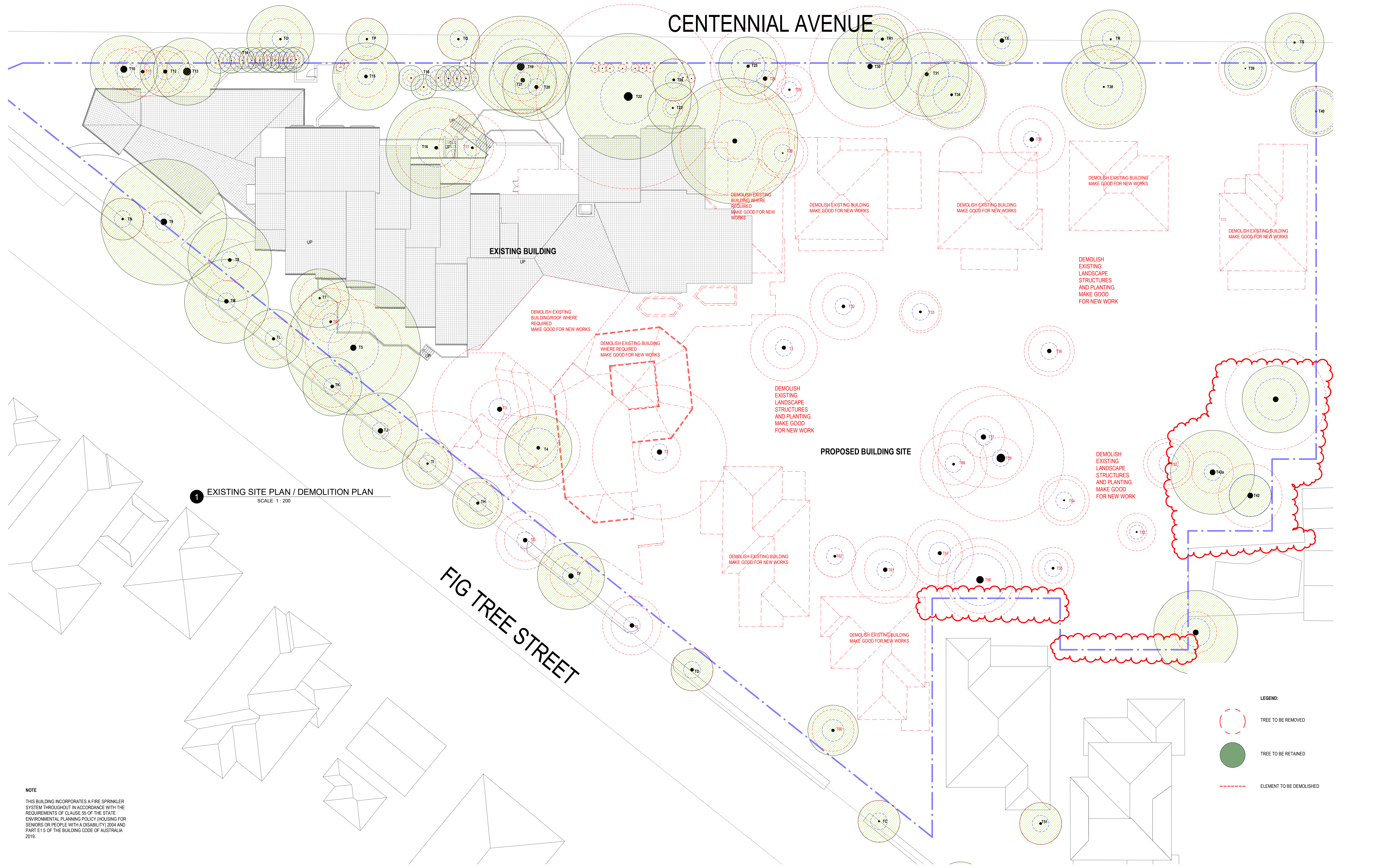
**NOTE**  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



SITE LOCATION				SCALE 1 : 500		
REV	DATE	AMENDMENT	INITIALS	CHECK	PROJECT NO.	DRAWING NO.
DA01	2020-08-11	DA ISSUE	MM		3108	DA060
					SCALE	As indicated @ A1
					DRAWN	
					PROJECT PRINCIPLE	G.OLLERTON
					DATE	27.10.2016
					REVISION	DA01







1 EXISTING SITE PLAN / DEMOLITION PLAN  
SCALE 1 : 200

FIG TREE STREET

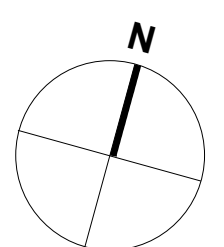
CENTENNIAL AVENUE

EXISTING BUILDING

PROPOSED BUILDING SITE

- LEGEND:
- TREE TO BE REMOVED
  - TREE TO BE RETAINED
  - ELEMENT TO BE DEMOLISHED

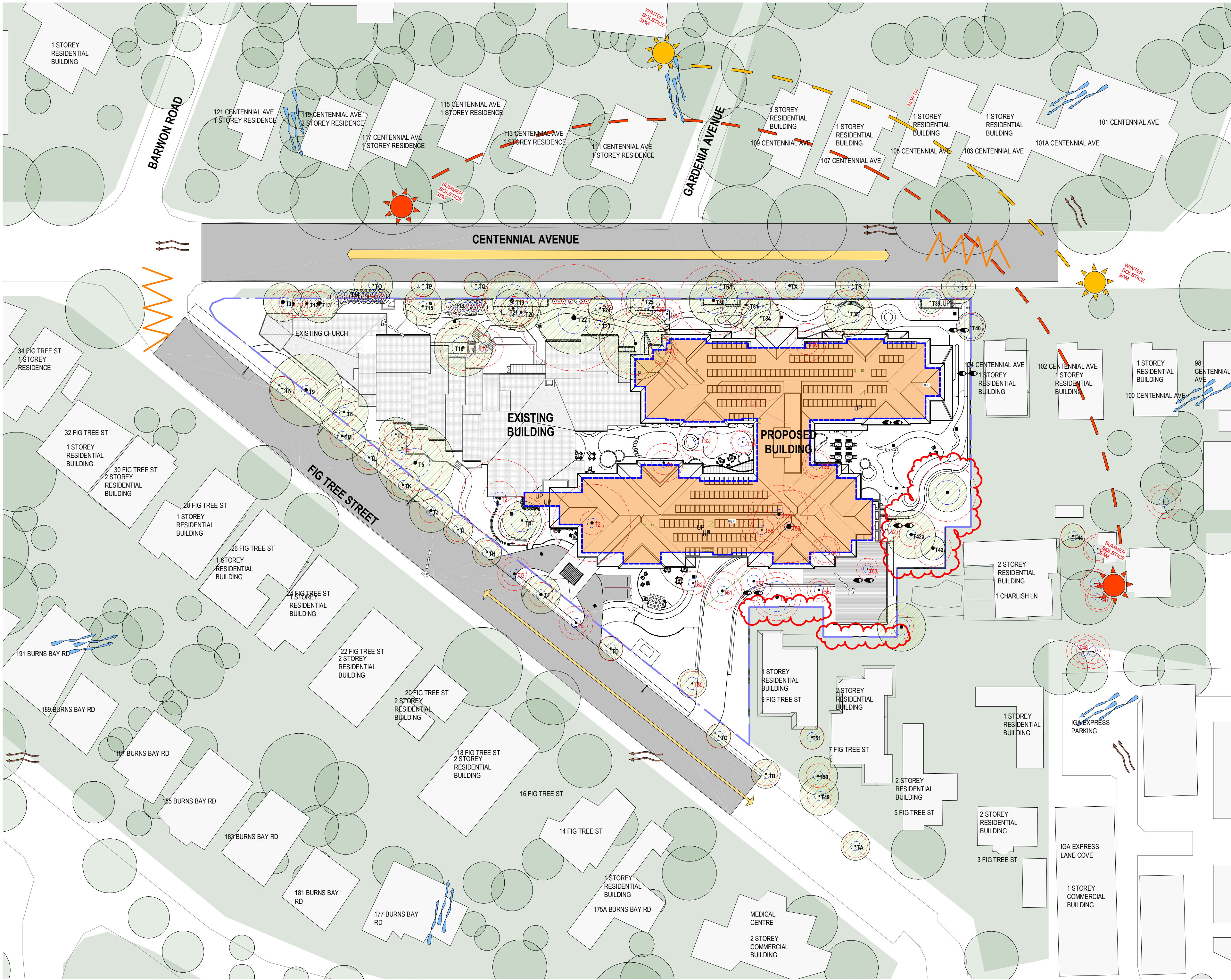
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 50 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-09-04	DA ISSUE	MM	
DA03	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA061	DA03
SCALE	As indicated @ A1	
DRAWN		
PROJECT PRINCIPLE	G. OLLERTON	
DATE	27.10.2016	





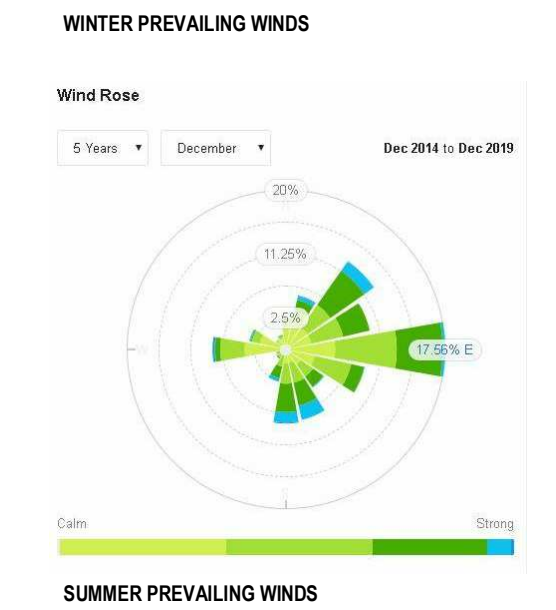
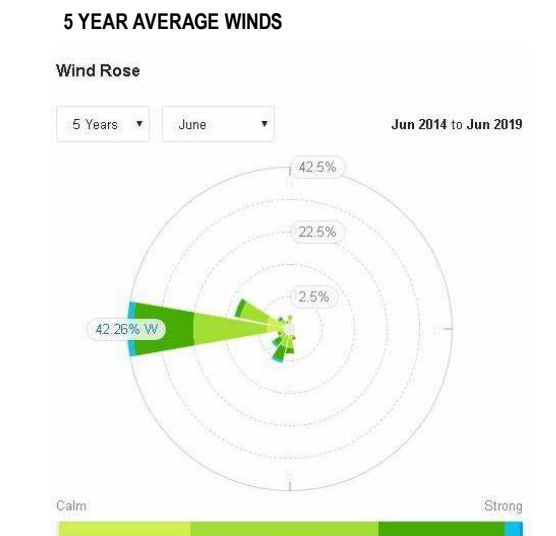
1 PROPOSED CONTEXT SITE PLAN  
SCALE 1:500

BEDROOMS		
LEVEL	CAREHOUSE	BED COUNT
GROUND FLOOR	HOUSEHOLD 1	20
LEVEL 01	HOUSEHOLD 2	20
LEVEL 01	HOUSEHOLD 3	20
LEVEL 02	HOUSEHOLD 4	20
LEVEL 02	HOUSEHOLD 5	20
TOTAL BEDS		100

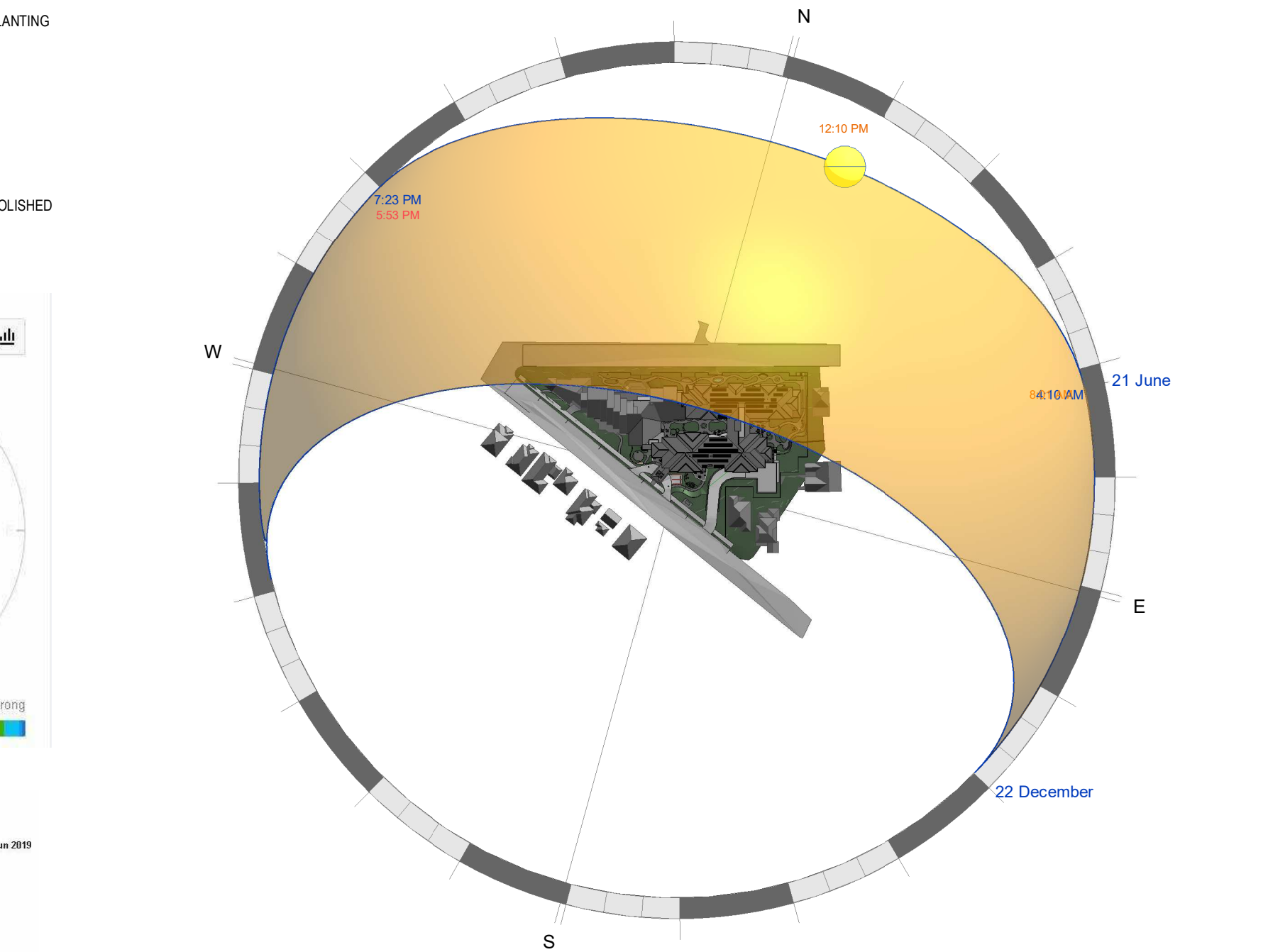
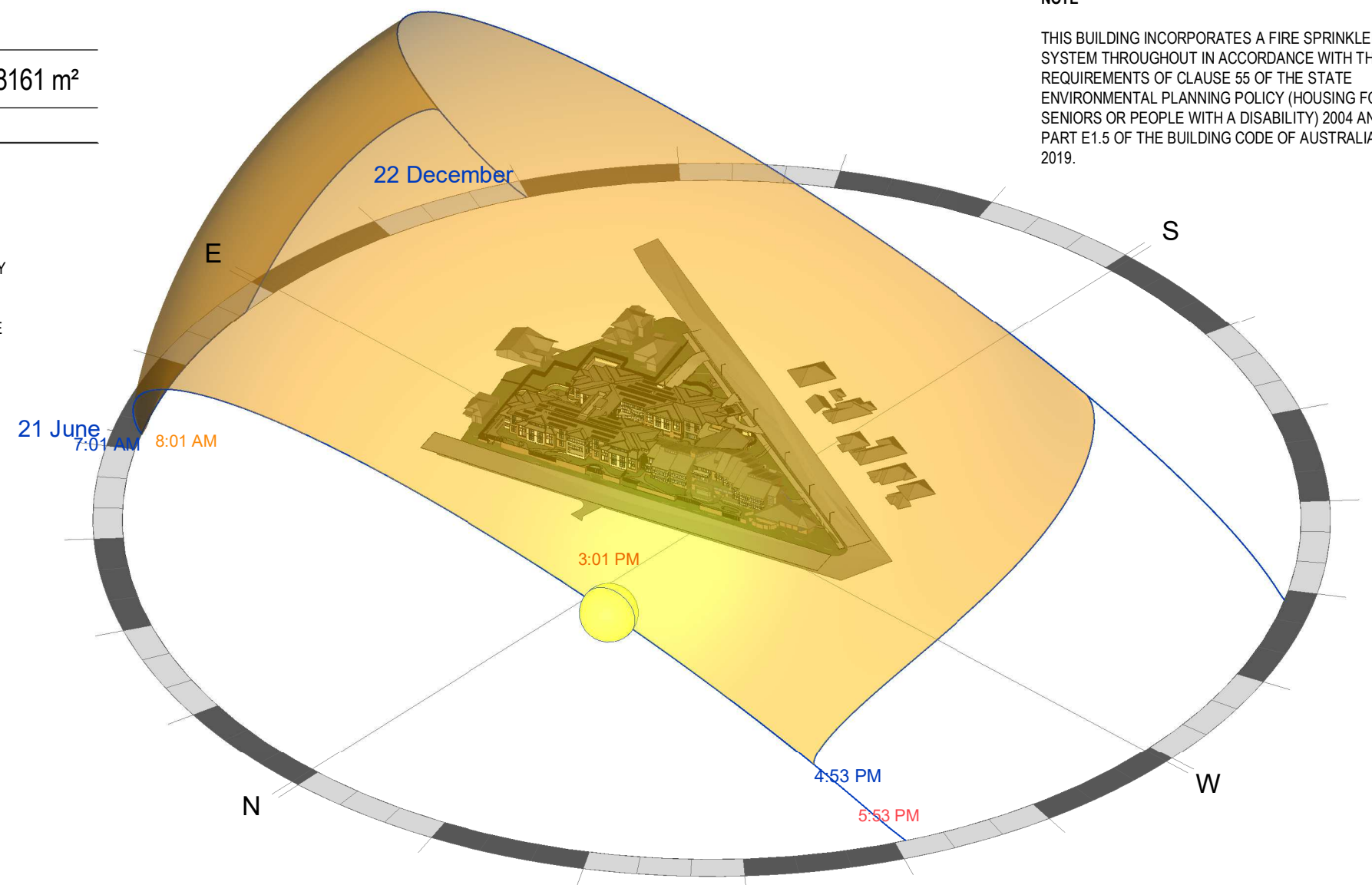
SITE AREA 8161 m<sup>2</sup>

#### LEGEND

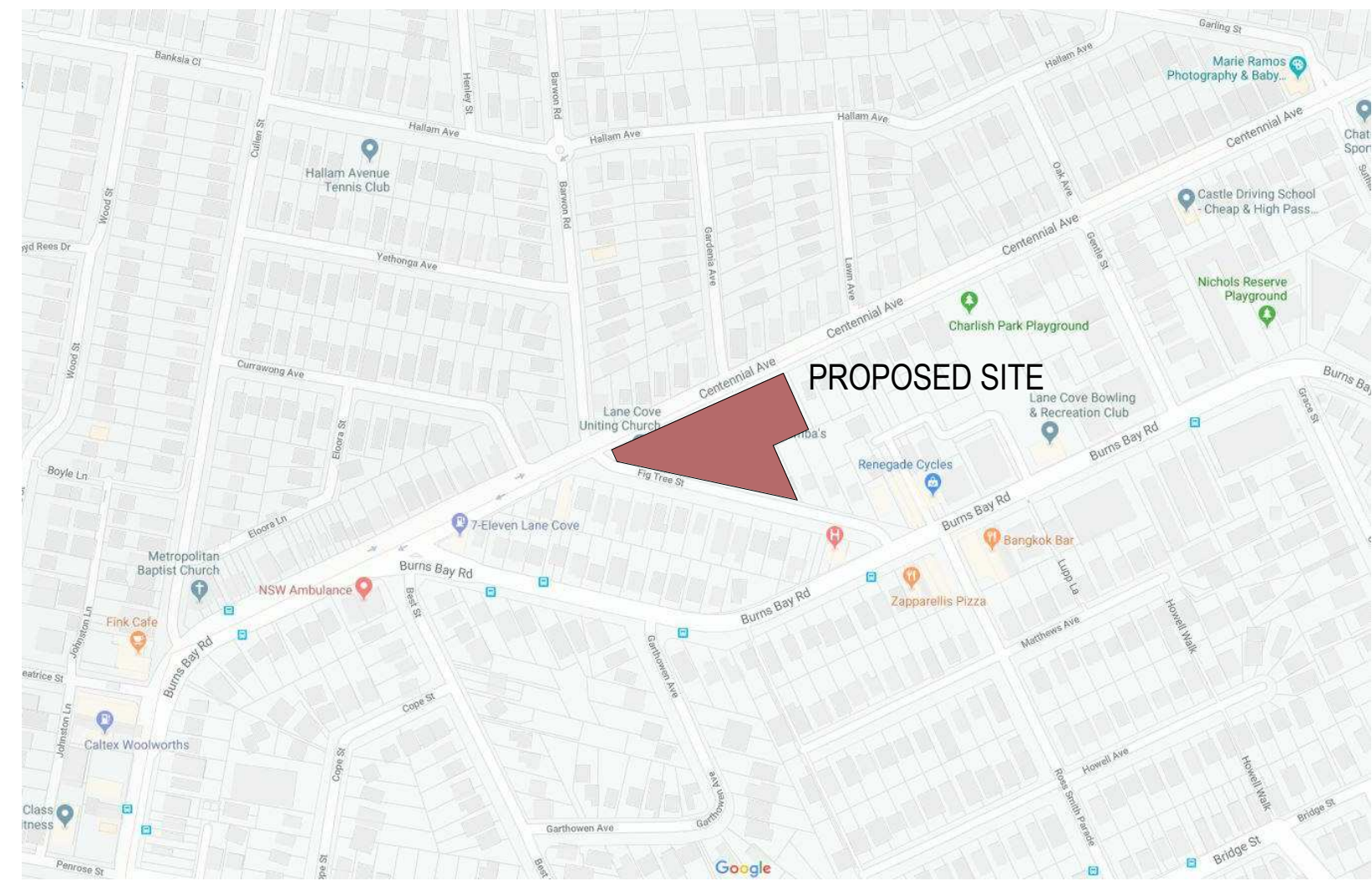
- PROPOSED SITE BOUNDARY
- NEIGHBOURING RESIDENCE
- VEHICLE MOVEMENT: SLOW
- FAST
- SUN PATH
- PEDESTRIAN MOVEMENT
- BUS ACCESS
- NOISE
- PRIVACY/OVERLOOKING
- SIGNIFICANT VIEWS
- WIND DIRECTION
- BUSHFIRE THREAT
- DOWNWARD SLOPE
- SITE CONTEXT EXISTING PLANTING
- EXISTING SITE PLANTING
- EXISTING TREE TO BE DEMOLISHED



SUMMER PREVAILING WINDS



NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

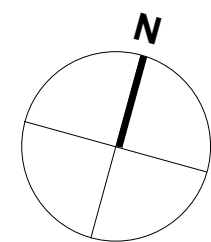


SITE LOCATION  
SCALE 1:500

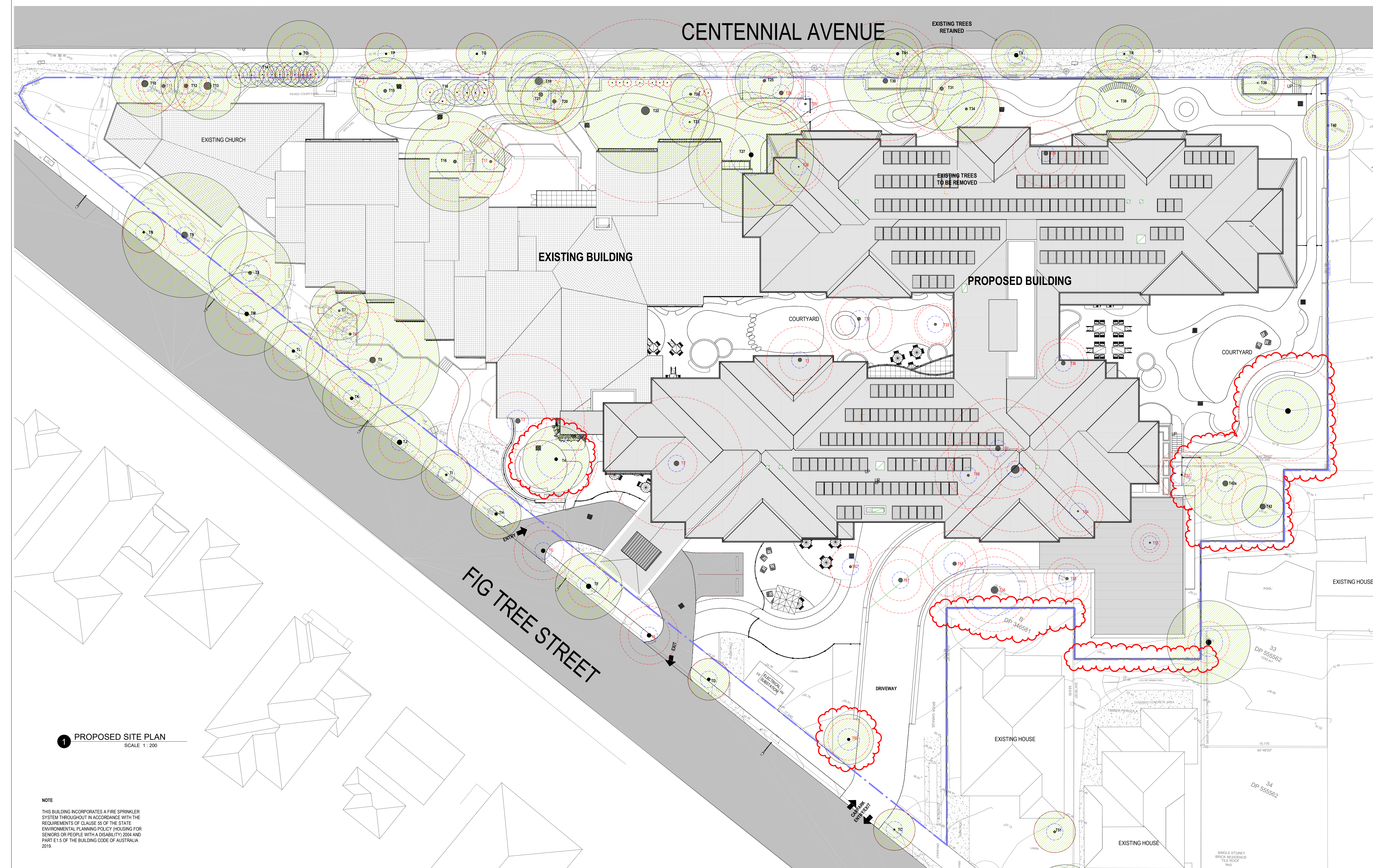
REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-09-04	DA ISSUE	MM	
DA04	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA063	DA04

SCALE	As indicated @ A1
DRAWN	
PROJECT PRINCIPLE	G.OLLERTON
DATE	27.10.2016







**1 PROPOSED SITE PLAN**  
SCALE 1 : 200

**NOTE**

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019

architecture  
interior design  
project management

**CLIENT**

CLIENT **Uniting**

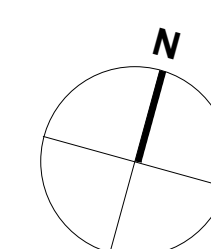
PROJECT

**UNITING St COLUMBA'S**

11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

PROPOSED SITE PLAN



REV	DATE	AMENDMENT	INITIALS	CHECK	PROJECT NO.	DRAWING NO.	REVISION
DA01	2020-08-11	DA ISSUE	MM		3108	DA064	DA04
DA02	2020-08-24	DA ISSUE	MM				
DA03	2020-09-04	DA ISSUE	MM				
DA04	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM				
DRAWN							
PROJECT PRINCIPLE					G.OLLERTON		
DATE					23-10-2019		

**Morrison  
Design  
Partnership**  
ARCHITECTS  
Since 1964



CENTENNIAL AVENUE

EXISTING CHURCH

DEMOLISH  
EXISTING WALLS

DRIVEWAY

EXISTING CARPARK

EXISTING BASEMENT

DEMOLISH  
EXISTING WALLS

FIG TREE STREET

1 DEMOLITION PLAN - BASEMENT 01

SCALE 1 : 200

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

CLIENT

Uniting

PROJECT

UNITING St COLUMBA'S

11-15 FIG TREE STREET, LANE COVE

LOT 2 DP184731

LOTS A, B, C & D DP385033

LOTS 1, 2 & 3 DP339444

© Copyright  
These drawings and designs and the copyright thereof are the property of Morrison Design Partnership Pty. Ltd. and must not be used retained or copied without the written permission of Morrison Design Partnership Pty. Ltd. ACN 001 595 268  
BIM 360://3108 - Uniting St Columba Lane Cove/3108 - Uniting St Columbia CENTRAL(V20).rvt

DRAWING TITLE

DEMO PLAN - BASEMENT FLOOR

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA080	DA01

SCALE	As indicated @ A1
-------	-------------------

DRAWN	Author
-------	--------

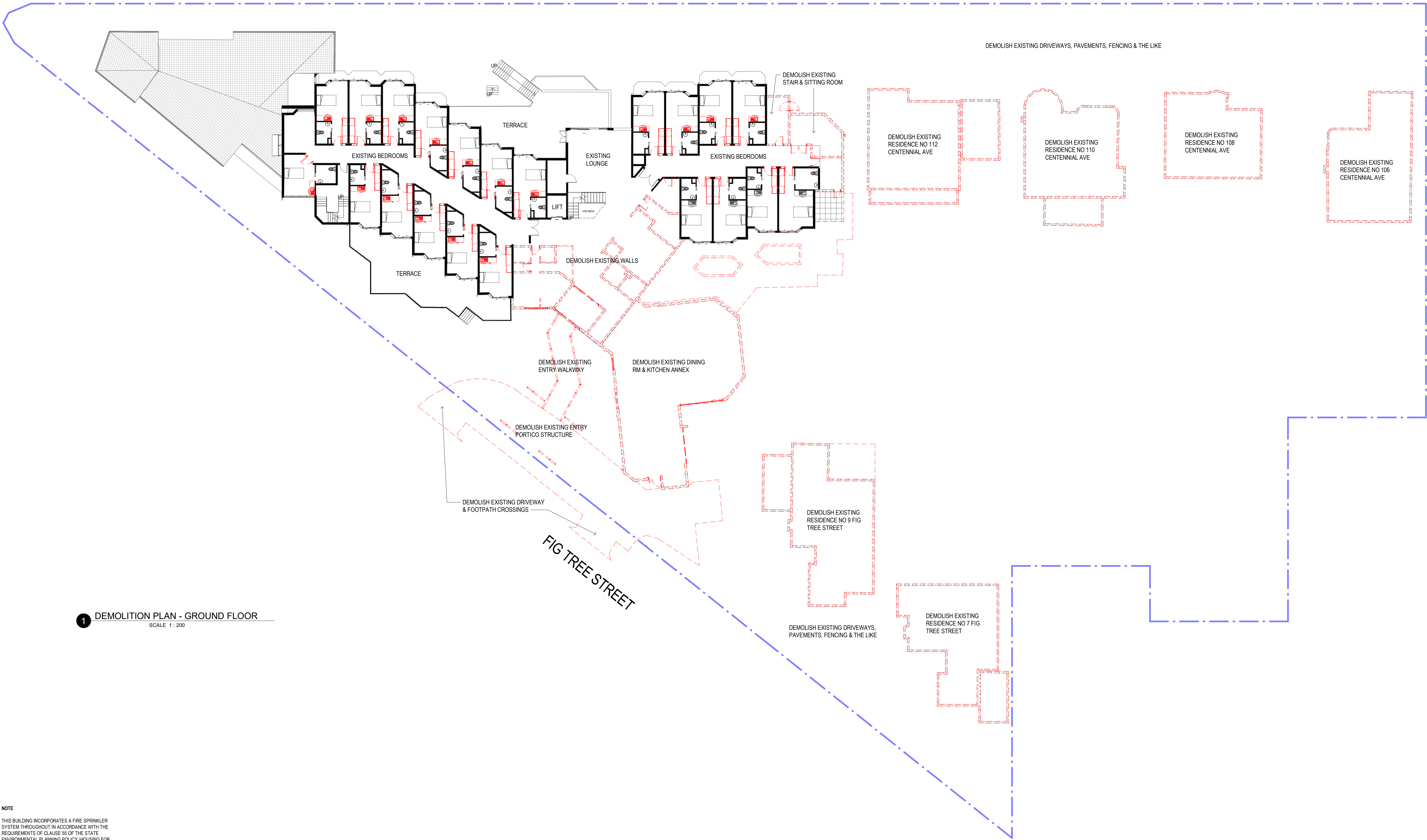
PROJECT PRINCIPLE	G.OLLERTON
-------------------	------------

DATE	27.10.2016
------	------------

Morrison  
Design  
Partnership  
ARCHITECTS  
Since 1969



CENTENNIAL AVENUE



1 DEMOLITION PLAN - GROUND FLOOR  
SCALE 1 : 200

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

architecture  
interior design  
project management

CLIENT  
**Uniting**

PROJECT  
**UNITING St COLUMBA'S**  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE  
**DEMO PLAN - GROUND FLOOR**

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-09-04	DA ISSUE	MM	

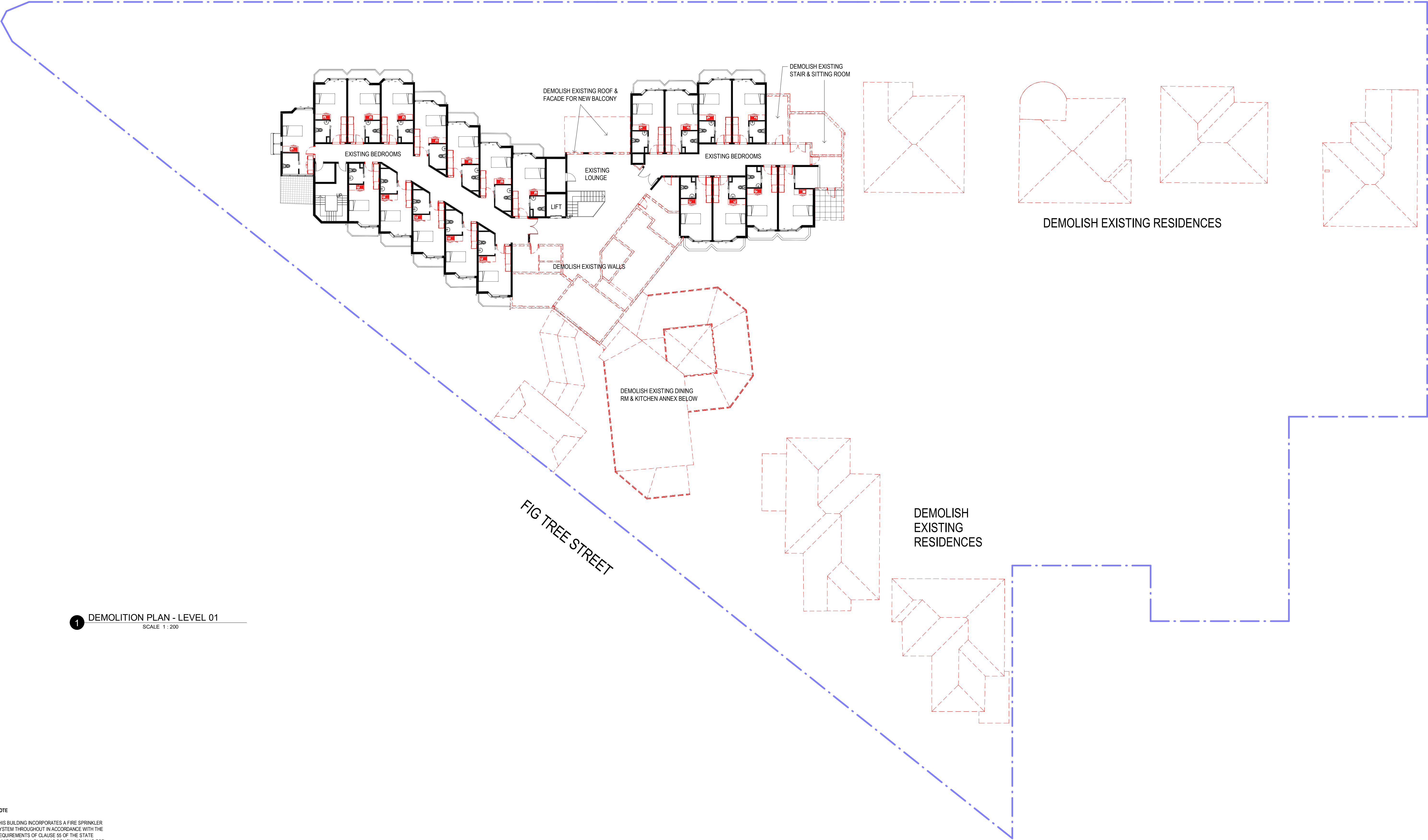
PROJECT NO.	DRAWING NO.	REVISION
3108	DA081	DA02

SCALE	As indicated @ A1
DRAWN	Author
PROJECT PRINCIPLE	G.OLLERTON
DATE	27.10.2016

Morrison  
Design  
Partnership  
architects  
Since 1969



CENTENNIAL AVENUE



1 DEMOLITION PLAN - LEVEL 01  
SCALE 1 : 200

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

architecture  
interior design  
project management

CLIENT

Uniting

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

DEMO PLAN - FIRST FLOOR

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA082	DA01

SCALE As indicated @ A1

DRAWN Author

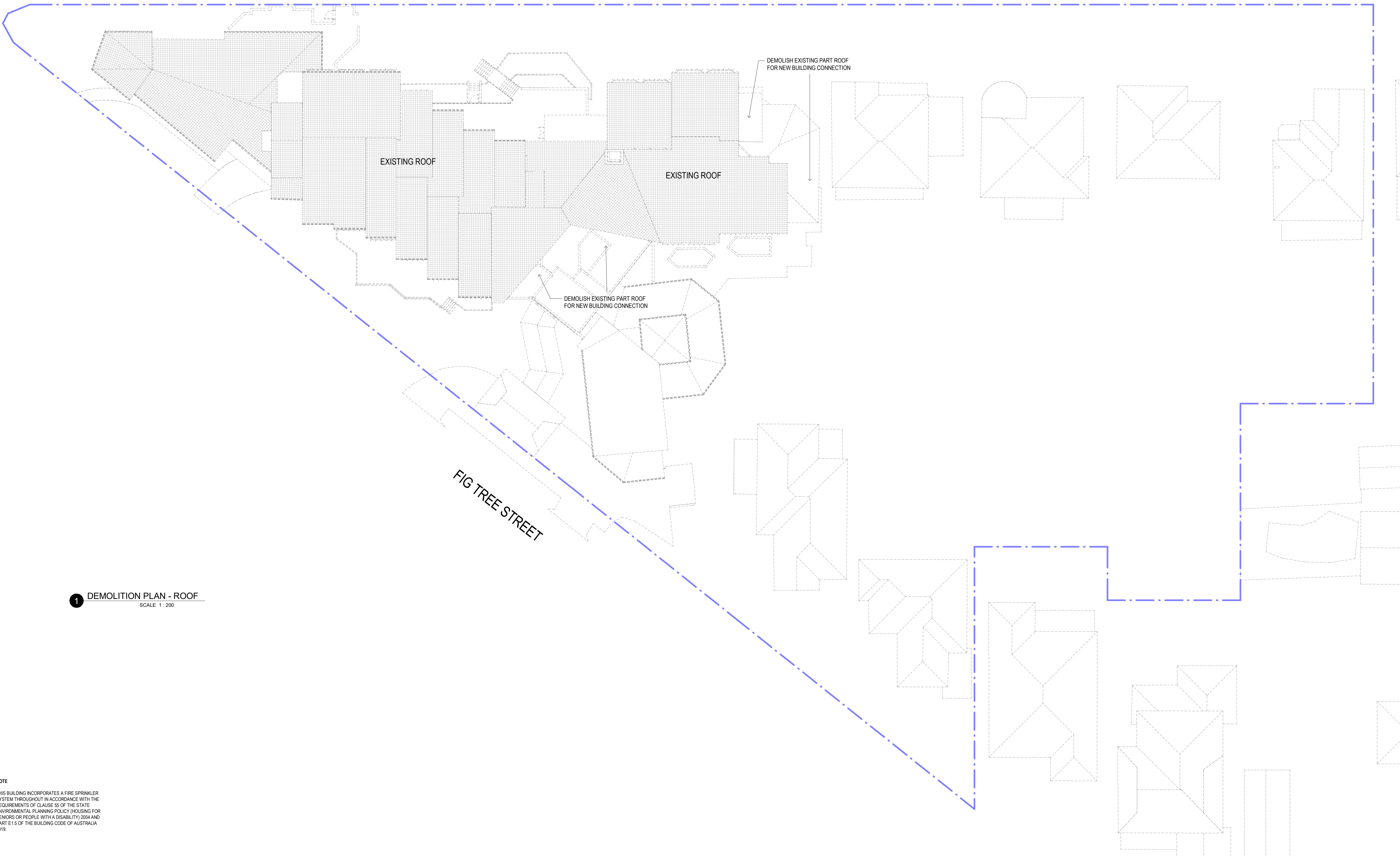
PROJECT PRINCIPLE G.OLLERTON

DATE 27.10.2016

Morrison  
Design  
Partnership  
architects  
Since 1969



CENTENNIAL AVENUE



1 DEMOLITION PLAN - ROOF

SCALE 1 : 200

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

© Copyright  
These drawings and designs and the copyright thereof are the property of Morrison Design Partnership Pty. Ltd. and must not be used retained or copied without the written permission of Morrison Design Partnership Pty. Ltd. ACN 001 595 268  
BIM 360://3108 - Uniting St Columba Lane Cove/3108 - Uniting St Columba CENTRAL(V20).rvt

DRAWING TITLE

DEMO PLAN - ROOF PLAN

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA083	DA01

SCALE As indicated @ A1

DRAWN Author

PROJECT PRINCIPLE G.OLLERTON

DATE 27.10.2016

architecture  
interior design  
project management

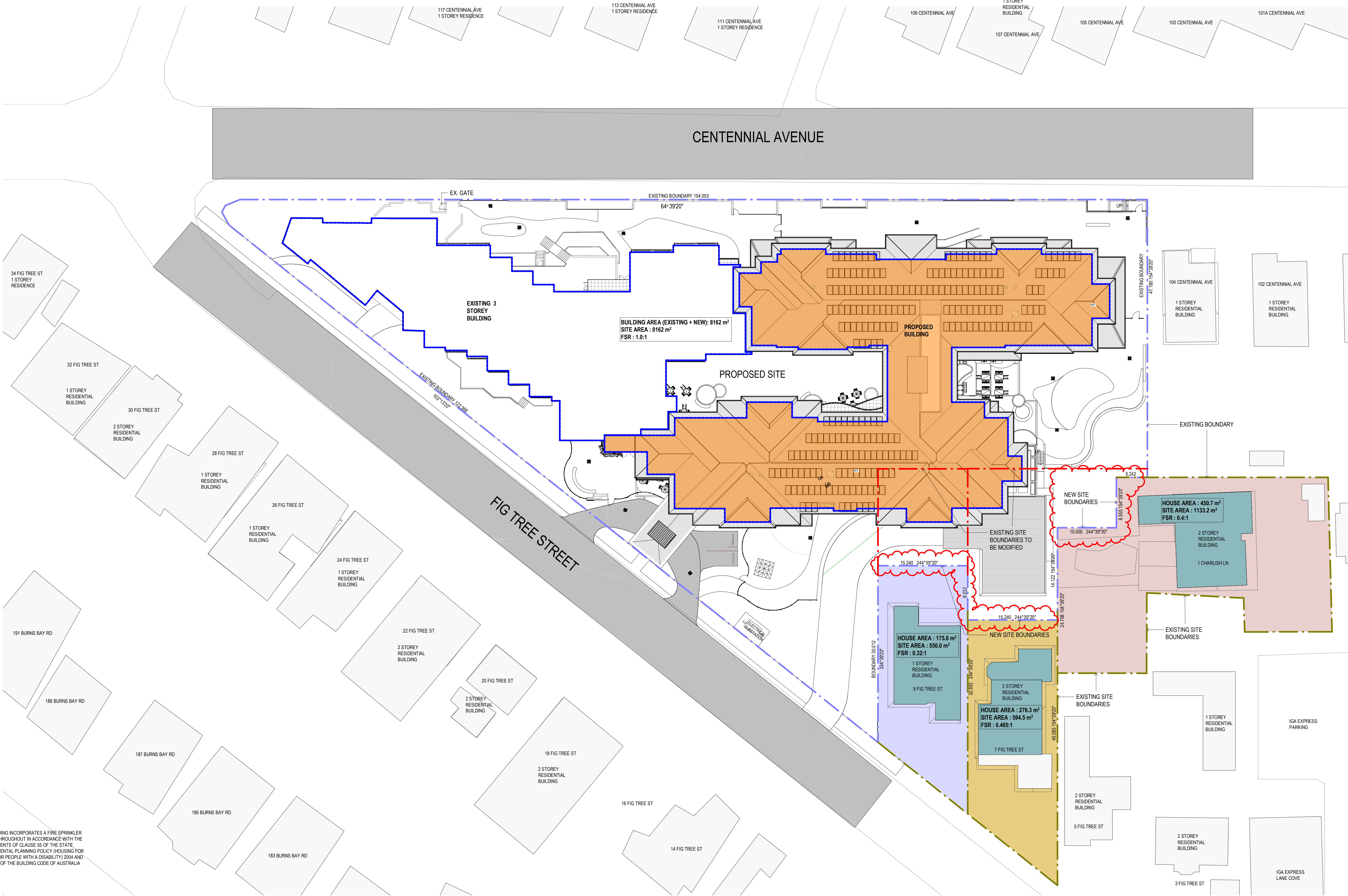
CLIENT

Uniting

NSW A/B REG ARCHITECT: G. OLLERTON #7621  
ACN: 001 595 268 ABN: 44 001 595 268 morrisondesign@mdpa.com.au  
Suite 302/69 Christie Street St. Leonards NSW 2065 | 02 99665546 | www.mdpa.com.au

Morrison  
Design  
Partnership  
ARCHITECTS  
Since 1969





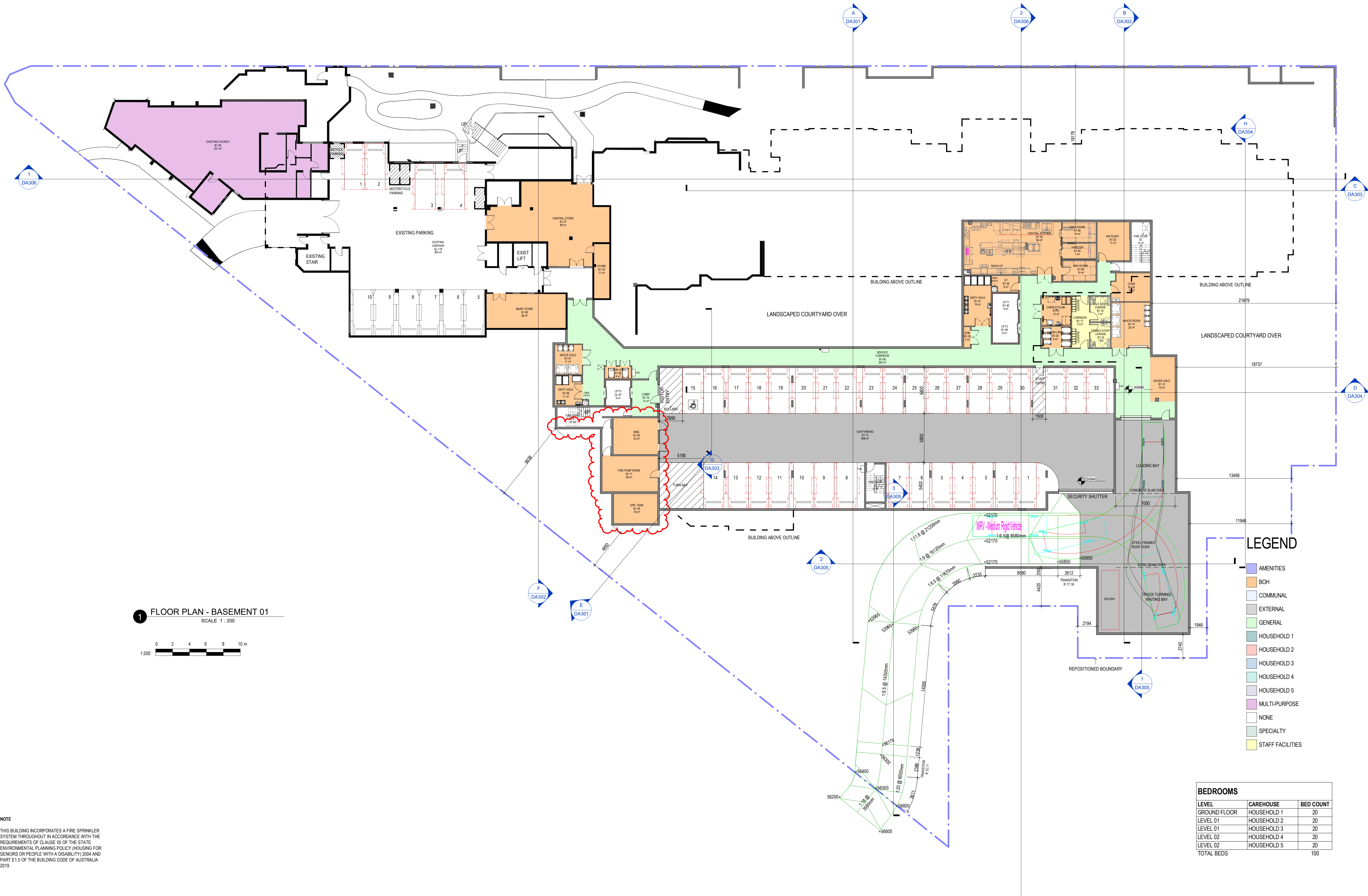
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

1 PROPOSED SITE ALLOTMENT PLAN  
SCALE 1 : 300

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-09-04	DA ISSUE	MM	
DA04	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM	
DA05	2020-11-24	REV DA ISSUE - Boundaries adjusted	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA090	DA05
SCALE	As indicated @ A1	
DRAWN	Author	
PROJECT PRINCIPLE	G. OLLERTON	
DATE	27.10.2016	





1 FLOOR PLAN - BASEMENT 01  
SCALE 1 : 200

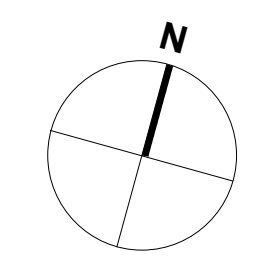


LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES

BEDROOMS		
LEVEL	CAREHOUSE	BED COUNT
GROUND FLOOR	HOUSEHOLD 1	20
LEVEL 01	HOUSEHOLD 2	20
LEVEL 01	HOUSEHOLD 3	20
LEVEL 02	HOUSEHOLD 4	20
LEVEL 02	HOUSEHOLD 5	20
TOTAL BEDS		100

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



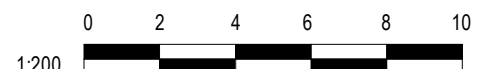
REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-11-10	REV DA ISSUE - Plant Rms altered, boundaries altered	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA101	DA02

SCALE	As indicated @ A1
DRAWN	
PROJECT PRINCIPLE	G.OLLERTON
DATE	27.10.2016

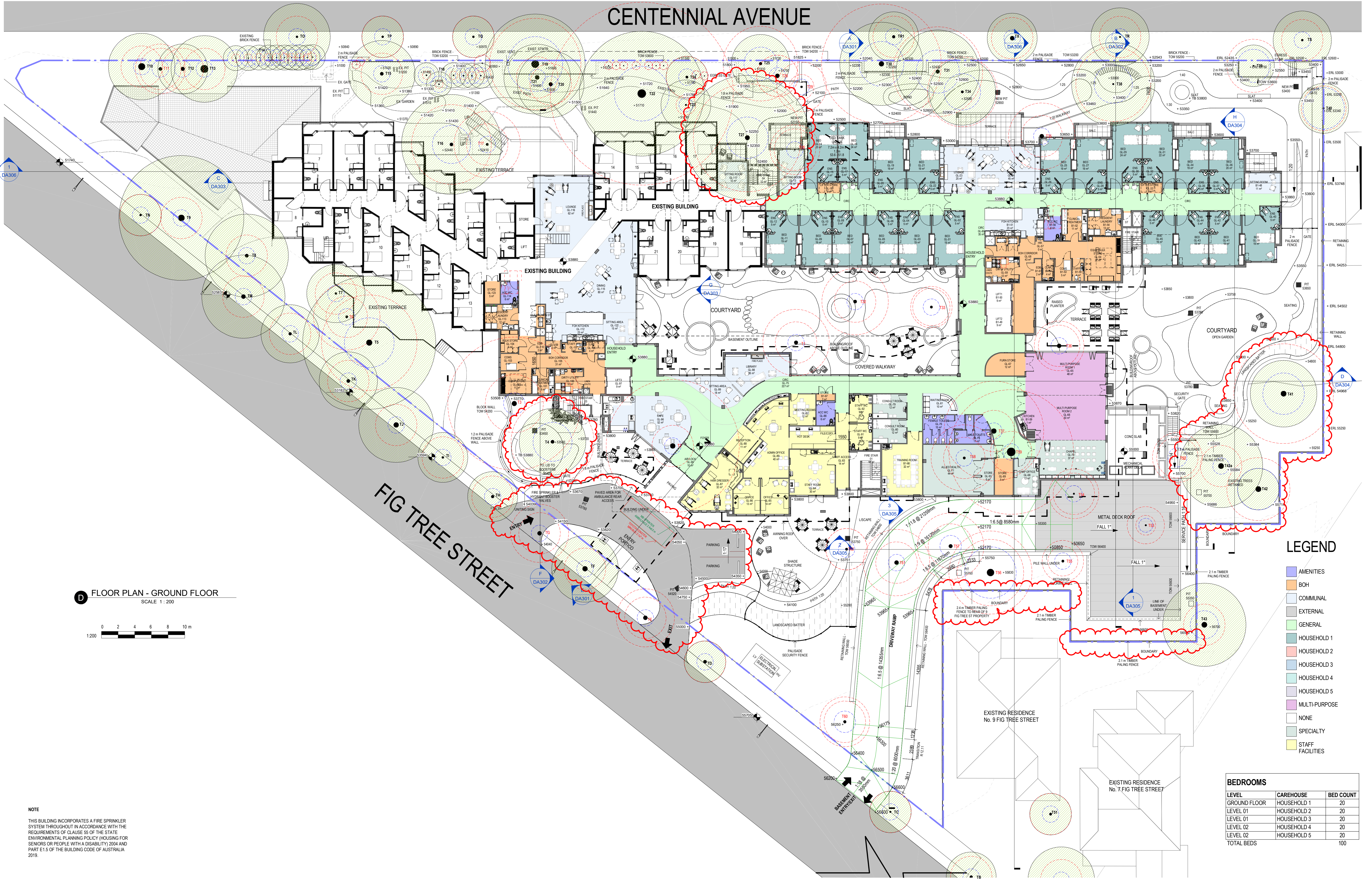


# CENTENNIAL AVENUE



- |   |                  |
|---|------------------|
|  | AMENITIES        |
|  | BOH              |
|  | COMMUNAL         |
|  | EXTERNAL         |
|  | GENERAL          |
|  | HOUSEHOLD 1      |
|  | HOUSEHOLD 2      |
|  | HOUSEHOLD 3      |
|  | HOUSEHOLD 4      |
|  | HOUSEHOLD 5      |
|  | MULTI-PURPOSE    |
|  | NONE             |
|  | SPECIALTY        |
|  | STAFF FACILITIES |





**D FLOOR PLAN - GROUND FLOOR**  
SCALE 1: 200

0 2 4 6 8 10 m

1:200

**LEGEND**

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES

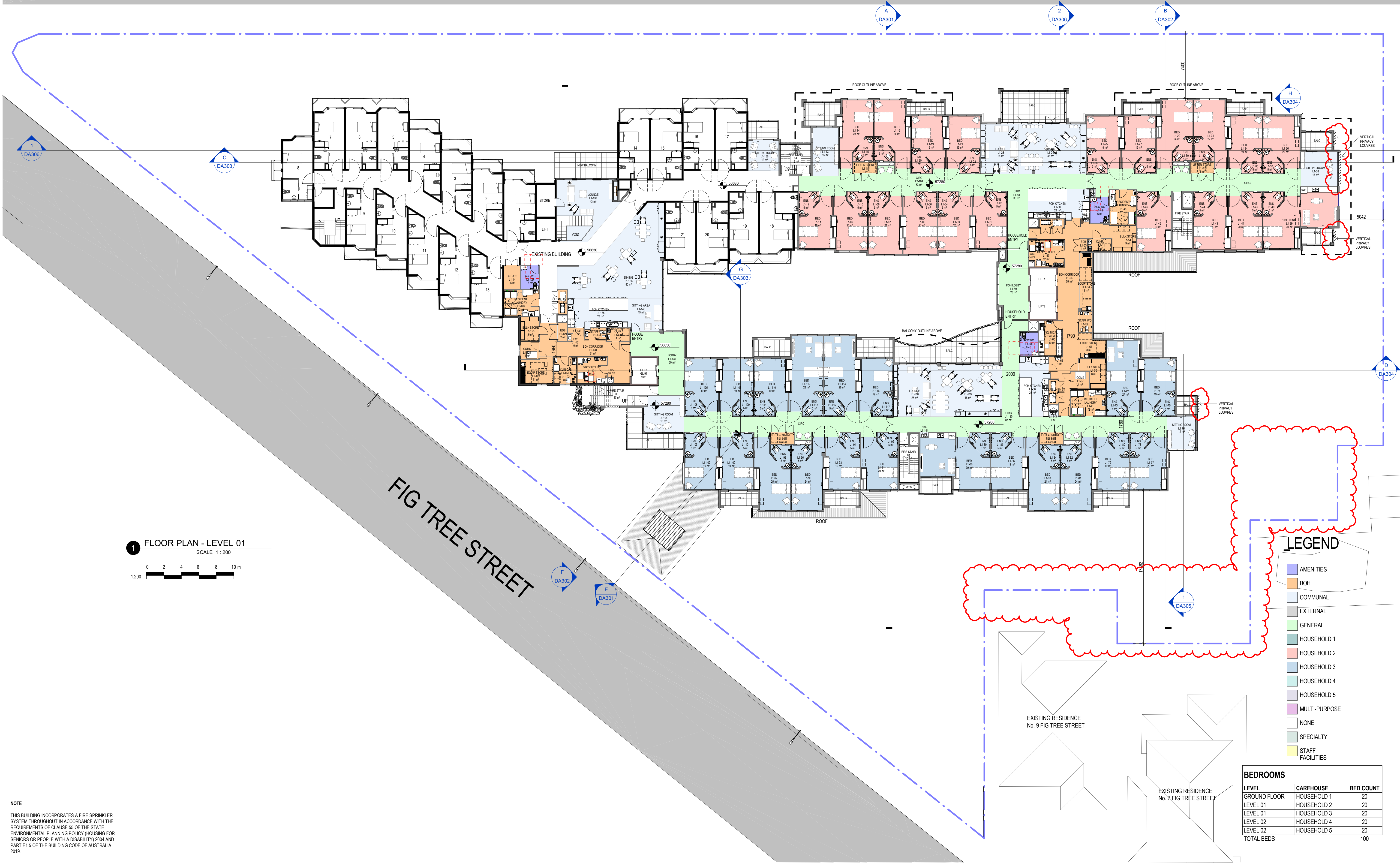
BEDROOMS		
LEVEL	CAREHOUSE	BED COUNT
GROUND FLOOR	HOUSEHOLD 1	20
LEVEL 01	HOUSEHOLD 2	20
LEVEL 01	HOUSEHOLD 3	20
LEVEL 02	HOUSEHOLD 4	20
LEVEL 02	HOUSEHOLD 5	20
TOTAL BEDS		100

**NOTE**

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



CENTENNIAL AVENUE



1 FLOOR PLAN - LEVEL 01  
SCALE 1 : 200  
0 2 4 6 8 10 m  
1:200

LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES

BEDROOMS		
LEVEL	CAREHOUSE	BED COUNT
GROUND FLOOR	HOUSEHOLD 1	20
LEVEL 01	HOUSEHOLD 2	20
LEVEL 02	HOUSEHOLD 3	20
LEVEL 03	HOUSEHOLD 4	20
LEVEL 04	HOUSEHOLD 5	20
TOTAL BEDS		100

NOTE

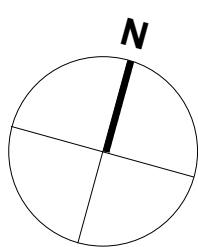
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

LEVEL 01 -FIRST FLOOR PLAN



REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-09-04	DA ISSUE	MM	
DA04	2020-11-10	REV DA ISSUE - Louvres added	DT	MM

PROJECT NO.	DRAWING NO.	REVISION
3108	DA103	DA04
SCALE As indicated @ A1		
DRAWN		
PROJECT PRINCIPLE G.OLLERTON		
DATE 27.10.2016		

Morrison  
Design  
Partnership  
architects  
Since 1969

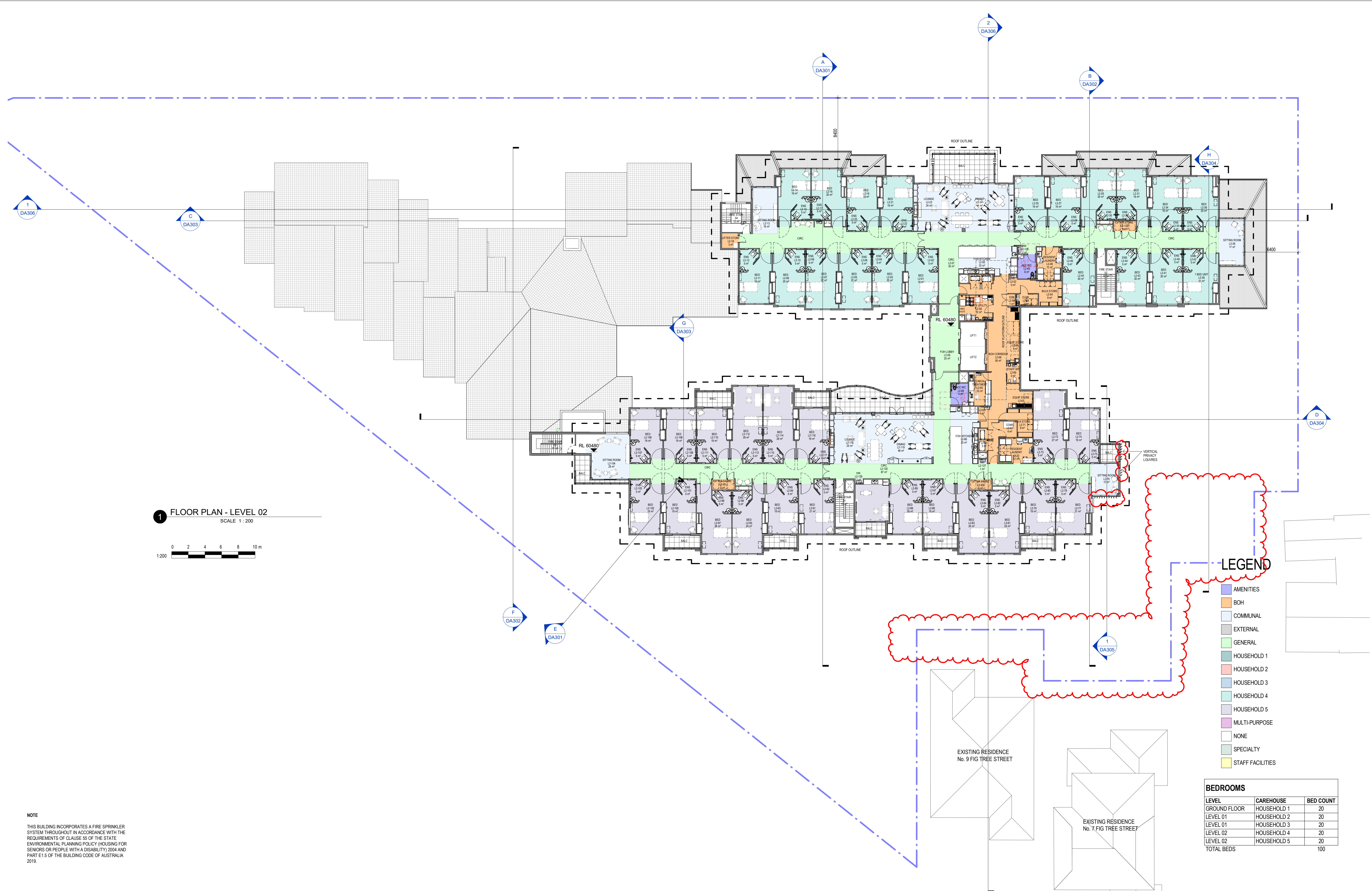
architecture  
interior design  
project management

CLIENT

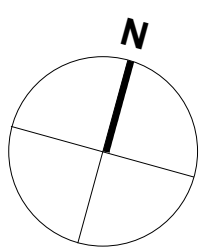
Uniting

NSW ABB REG ARCHITECT: G. OLLERTON #7621  
ACN: 001 595 268 ABN: 44 001 595 268 mormondesign@mdpa.com.au  
Suite 302/69 Christie Street St. Leonards NSW 2065 [02 99665544] www.mdpa.com.au  
© Copyright  
These drawings and designs and the copyright thereof are the property of Morrison Design Partnership Pty. Ltd. and must not be used retained or copied without the written permission of Morrison Design Partnership Pty. Ltd. ACN 001 595 268  
BIM 360://3108 - Uniting St Columba Lane Cove/3108 - Uniting St Columba CENTRAL (V20).rvt





NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

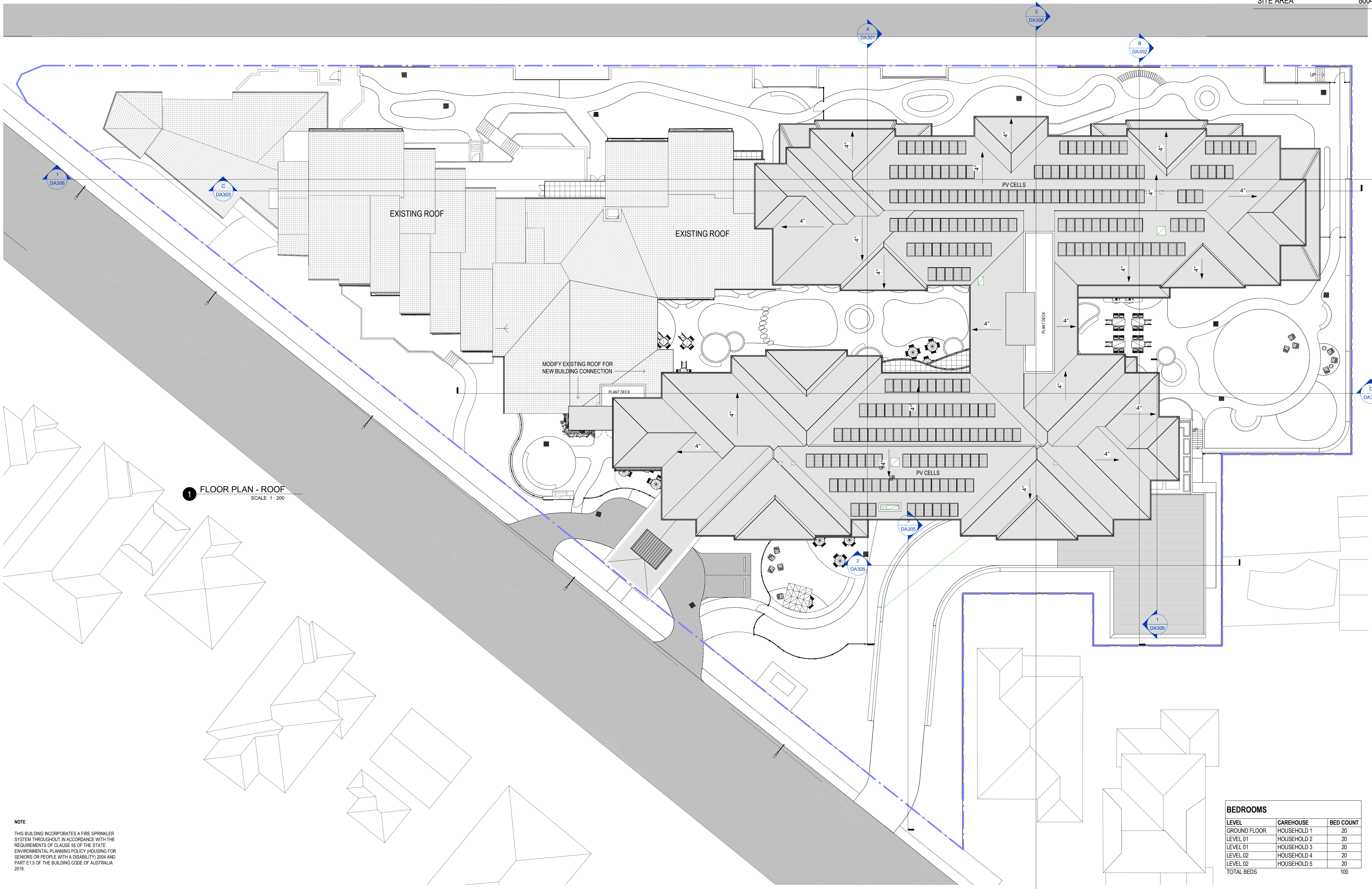


REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-09-04	DA ISSUE	MM	
DA03	2020-11-10	REV DA ISSUE - Louvers added	DT	MM

PROJECT NO.	DRAWING NO.	REVISION
3108	DA104	DA03

SCALE	As indicated @ A1
DRAWN	Author
PROJECT PRINCIPLE	G. OLLERTON
DATE	27.10.2016

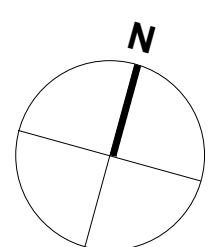




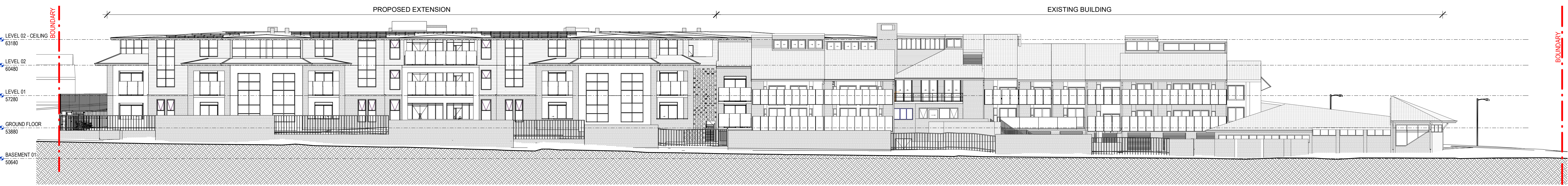
1 FLOOR PLAN - ROOF  
SCALE 1 : 200

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

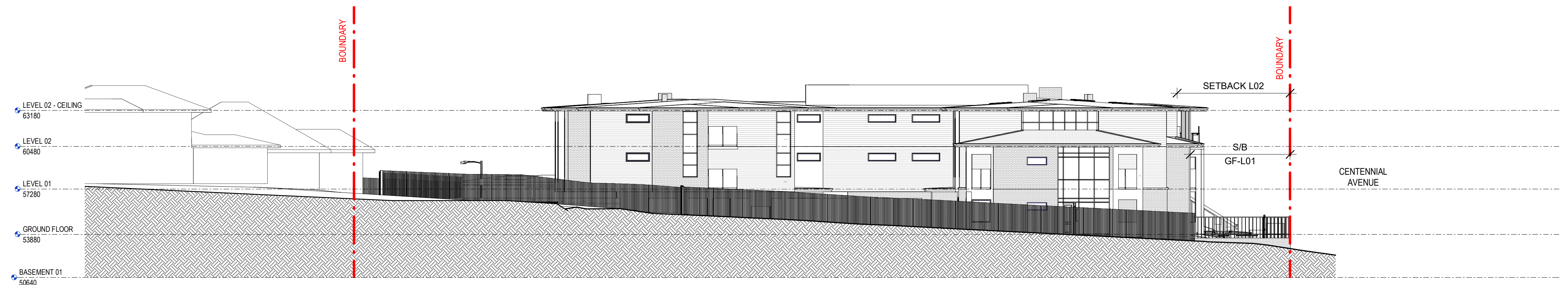
BEDROOMS		
LEVEL	CAREHOUSE	BED COUNT
GROUND FLOOR	HOUSEHOLD 1	20
LEVEL 01	HOUSEHOLD 2	20
LEVEL 01	HOUSEHOLD 3	20
LEVEL 02	HOUSEHOLD 4	20
LEVEL 02	HOUSEHOLD 5	20
TOTAL BEDS		100







1 North Site Elevation - CENTENNIAL AVE.  
SCALE 1 : 200



2 East Site Elevation  
SCALE 1 : 200



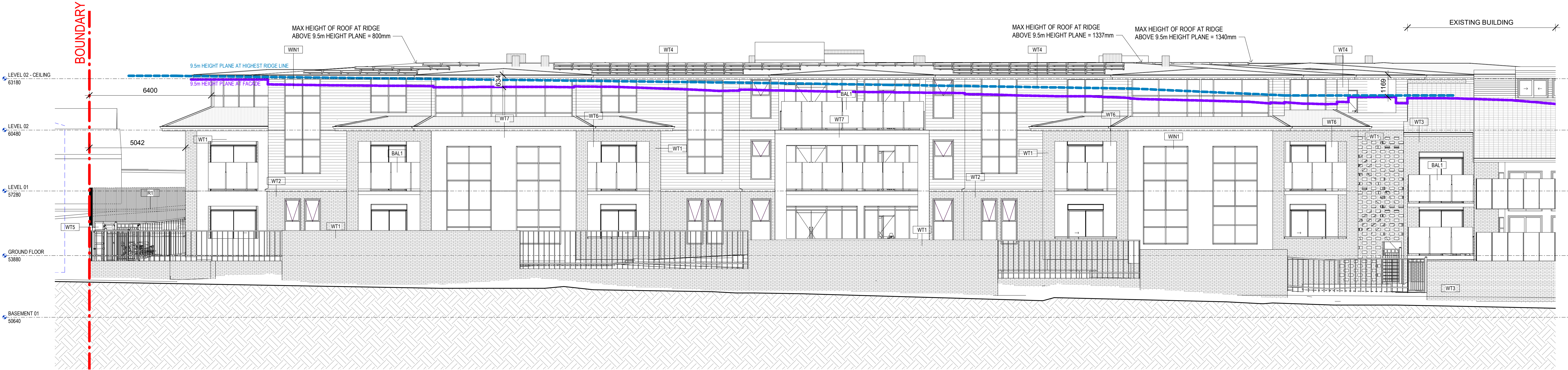
3 South Site Elevation - FIG TREE ST.  
SCALE 1 : 200



4 West Site Elevation  
SCALE 1 : 200

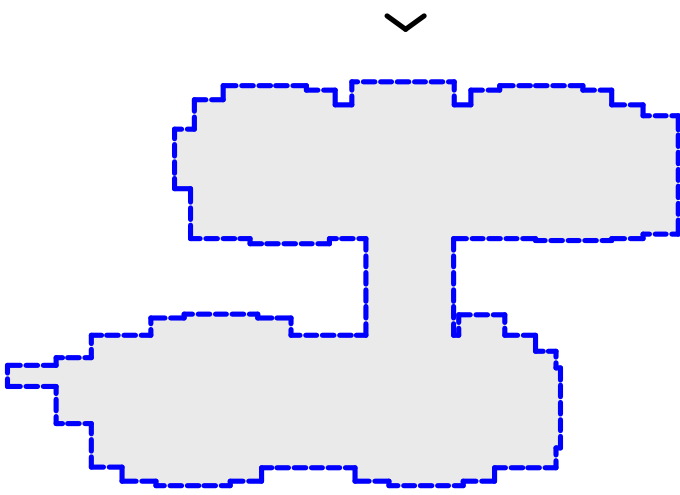
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.





1 North - Elevation - CENTENNIAL AVE.  
SCALE 1 : 100

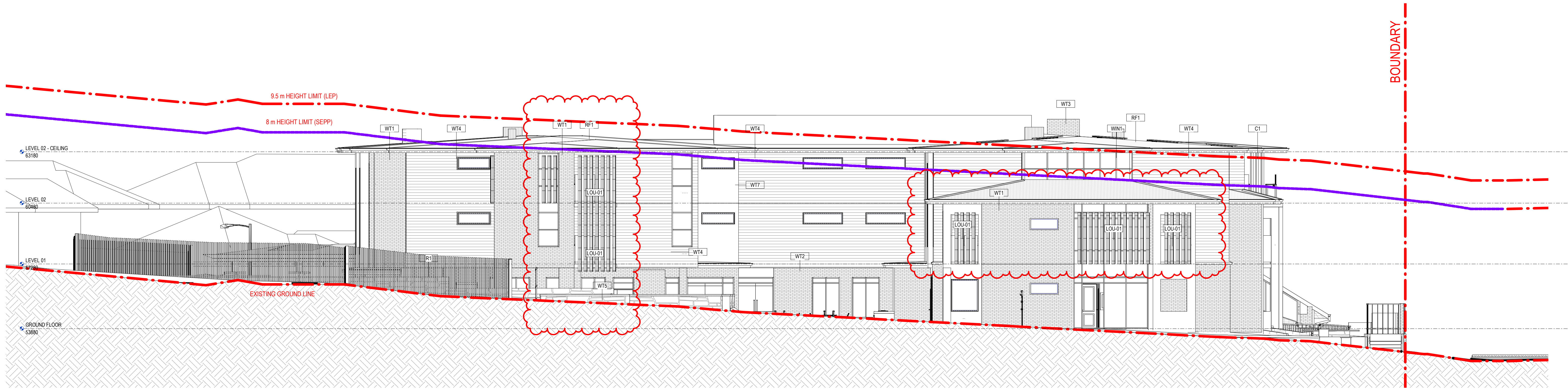
MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
R1	TIMBER PAILING FENCE
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT6	DARK CREAM PAINT FINISH
WT7	LIGHT CREAM PAINT FINISH



KEY PLAN  
SCALE 1 : 1000

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

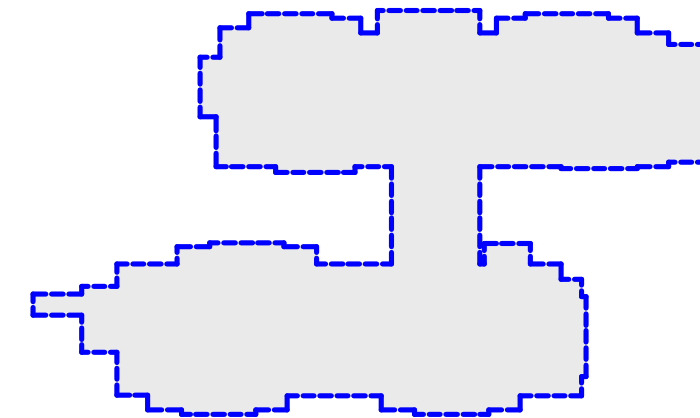




1 East - Elevation  
SCALE 1 : 100

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

MATERIAL LEGEND	
C1	TIMBER FINISH PANEL - RED CEDAR
LOU-01	ALUMINIUM LOUVRES - POWDERCOATED TBA
R1	TIMBER PAILING FENCE
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	GREY ALUMINIUM WEATHERBOARD CLADDING
WT5	SANDSTONE FACING
WT7	LIGHT CREAM PAINT FINISH



KEY PLAN  
SCALE 1 : 1000

PROJECT  
UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE  
ELEVATIONS SHEET 2 - EAST

REV	DATE	AMENDMENT	INITIALS	CHECK	PROJECT NO.	DRAWING NO.	REVISION
DA01	2020-08-11	DA ISSUE	MM		3108	DA202	DA04
DA02	2020-08-24	DA ISSUE	MM				
DA03	2020-09-04	DA ISSUE	MM				
DA04	2020-11-10	REV DA ISSUE - Louvres added	DT	MM			
SCALE					As indicated @ A1		
DRAWN					Author		
PROJECT PRINCIPLE					G.OLLERTON		
DATE					27.10.2016		

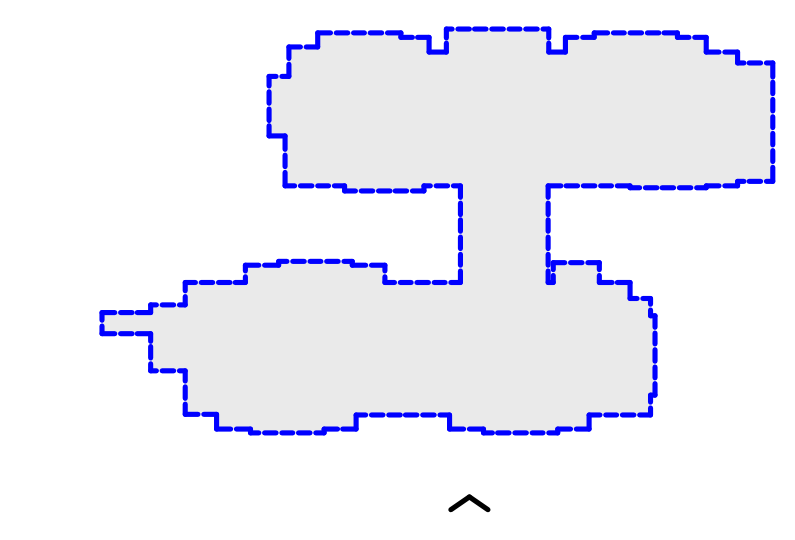




1 South - Elevation  
SCALE 1 : 100

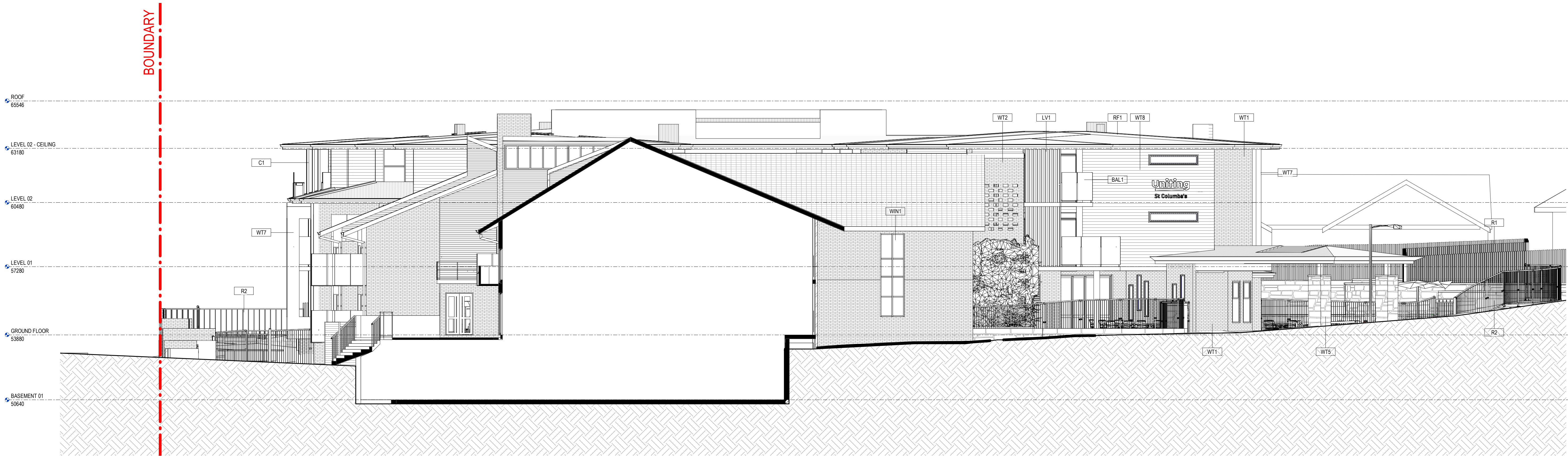
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
C1	TIMBER FINISH PANEL - RED CEDAR
LV1	VERTICAL LOUVRES - WESTERN RED CEDAR
LV2	LOUVRES BLADES - ALUMINIUM
R1	TIMBER PAILING FENCE
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT6	DARK GREY PAINT FINISH
WT7	LIGHT GREY PAINT FINISH
WT8	LIGHT GREY ALUMINIUM CLADDING



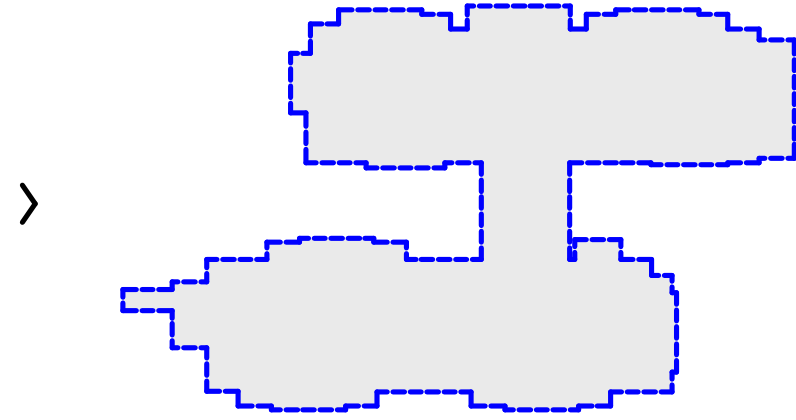
KEY PLAN  
SCALE 1 : 1000





1 West - Elevation  
SCALE 1 : 100

MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
C1	TIMBER FINISH PANEL - RED CEDAR
LV1	VERTICAL LOUVRES - WESTERN RED CEDAR
R1	TIMBER PAILING FENCE
R2	PALISADE FENCE
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT5	SANDSTONE FACING
WT7	LIGHT CREAM PAINT FINISH
WT8	LIGHT GREY ALUMINIUM CLADDING



KEY PLAN  
SCALE 1 : 1000

NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



PROJECT  
UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE  
ELEVATIONS SHEET 4 - WEST

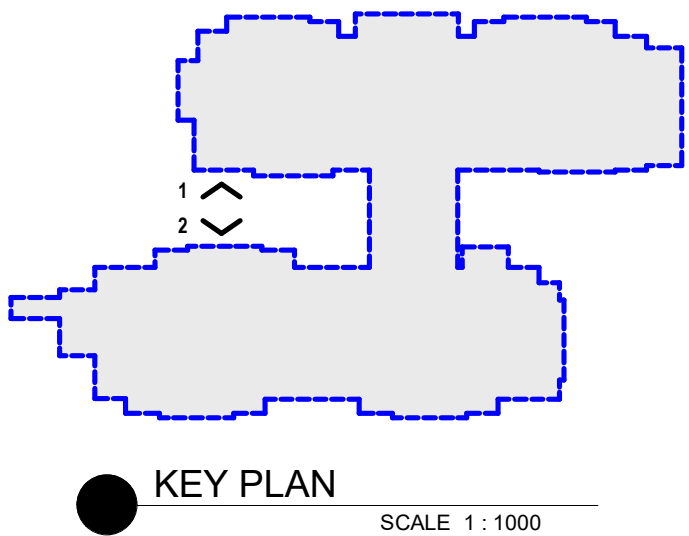
REV	DATE	AMENDMENT	INITIALS	CHECK	PROJECT NO.	DRAWING NO.	REVISION
DA01	2020-08-11	DA ISSUE	MM		3108	DA204	DA02
DA02	2020-09-04	DA ISSUE	MM				
SCALE					As indicated @ A1		
DRAWN					Author		
PROJECT PRINCIPLE					G.OLLERTON		
DATE					27.10.2016		







MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	DARK GREY ALUMINIUM CLADDING
WT6	DARK CREAM PAINT FINISH
WT7	LIGHT CREAM PAINT FINISH

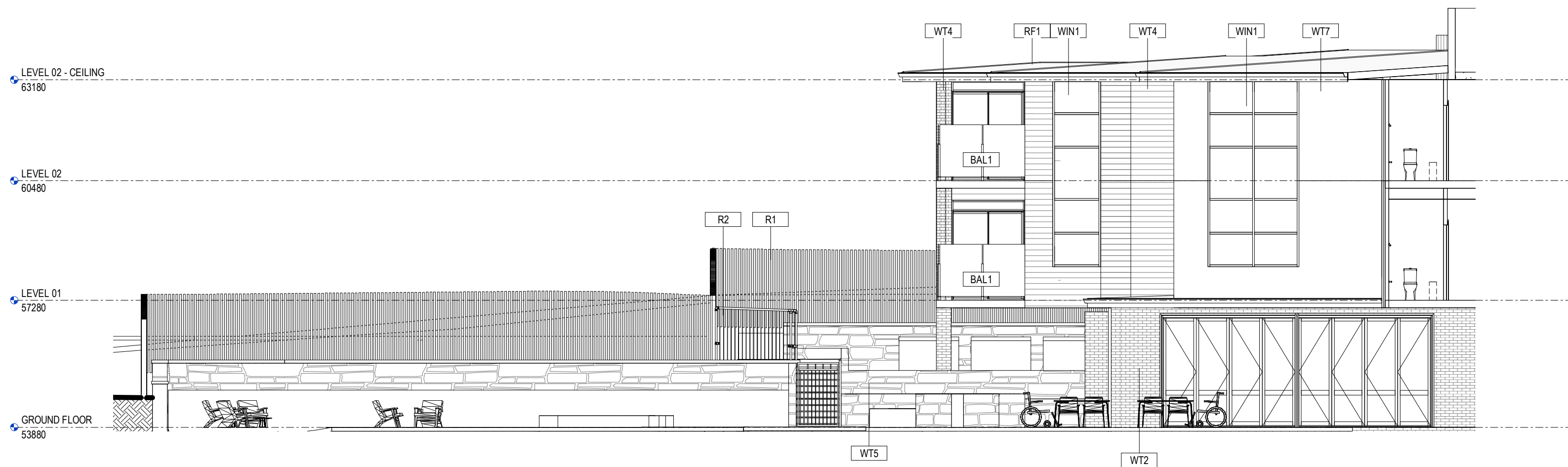


NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



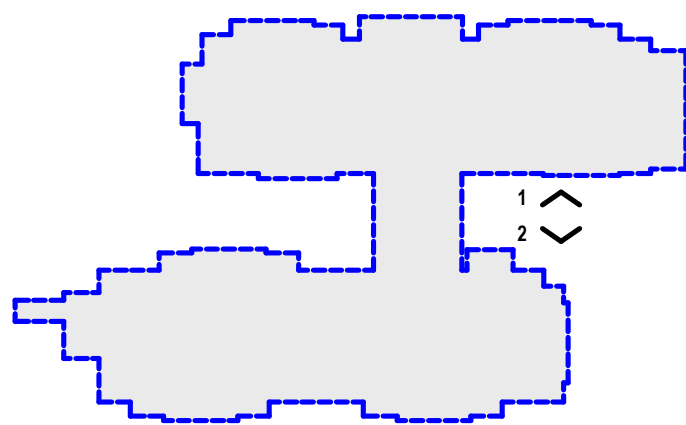


1 EASTERN COURTYARD SOUTH ELEVATION  
SCALE 1 : 100



2 EASTERN COURTYARD NORTH ELEVATION  
SCALE 1 : 100

MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
R1	TIMBER PAILING FENCE
R2	PALISADE FENCE
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT7	LIGHT CREAM PAINT FINISH



KEY PLAN  
SCALE 1 : 1000

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

CLIENT

architecture  
interior design  
project management

# Uniting

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

EASTERN COURTYARD ELEVATIONS

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA205.2	DA02

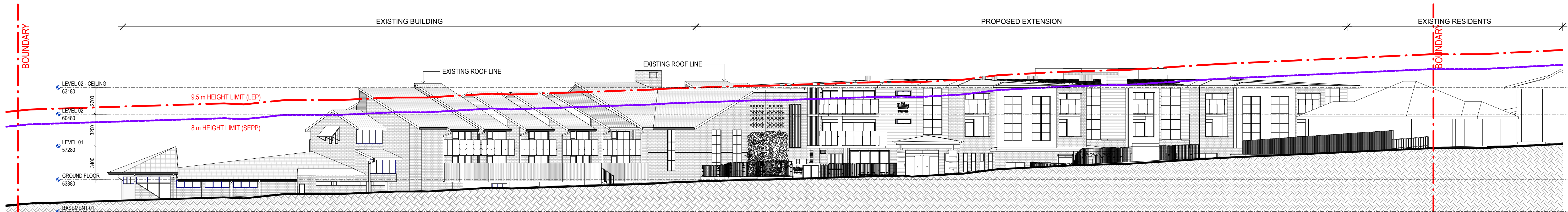
SCALE As indicated @ A1

DRAWN Author

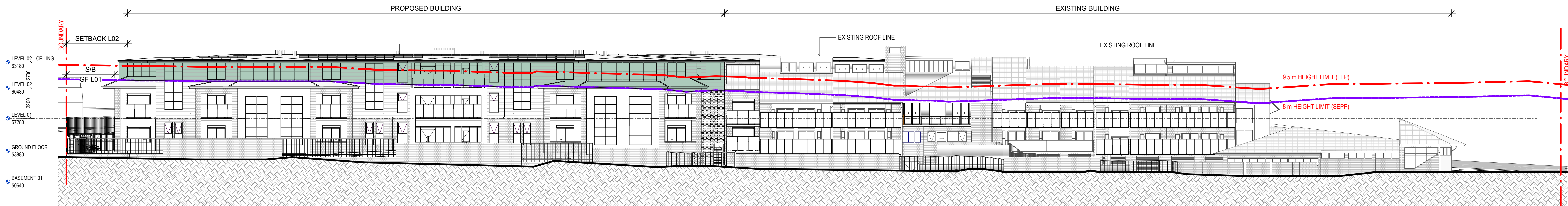
PROJECT PRINCIPLE G.OLLERTON

DATE 27.10.2016





1 South Elevation (Fig Street)  
SCALE 1 : 200



2 North Site Elevation (CENTENNIAL AVENUE)  
SCALE 1 : 200

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

architecture  
interior design  
project management

CLIENT

**Uniting**

PROJECT

**UNITING St COLUMBA'S**  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

**ELEVATION SHEET 5 - SOUTH (FIG STREET) & NORTH (CENTENNIAL AVENUE)**

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-09-04	DA ISSUE	MM	
DA03	2020-09-10	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA206	DA03

SCALE As indicated @ A1

DRAWN Author

PROJECT PRINCIPLE G.OLLERTON

DATE 27.10.2016

**Morrison**  
Design  
Partnership  
architects  
Since 1969





1 South Elevation - MATERIAL - (Fig Street)  
SCALE 1 : 200



2 North Site Elevation - MATERIAL (CENTENNIAL AVENUE)  
SCALE 1 : 200

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

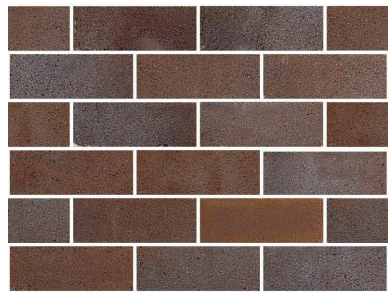


NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

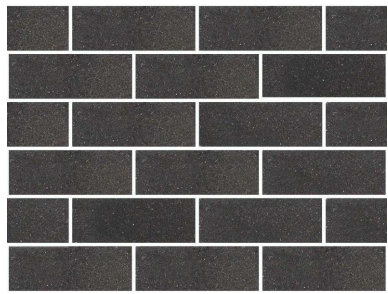


1 NORTH ELEVATION - MATERIAL  
SCALE 1 : 100

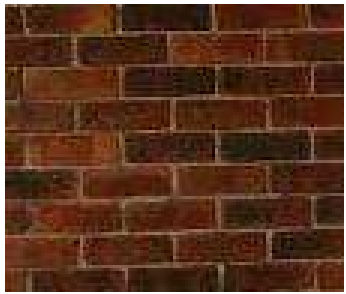
MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
C1	TIMBER FINISH PANEL - RED CEDAR
R1	TIMBER PAILING FENCE
R2	PAUSADE FENCE
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION CERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT6	DARK GREY PAINT FINISH
WT7	LIGHT CREAM PAINT FINISH



WT1



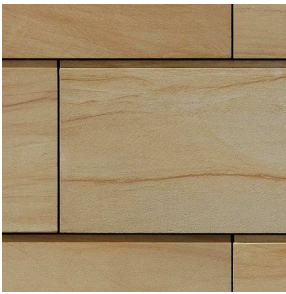
WT2



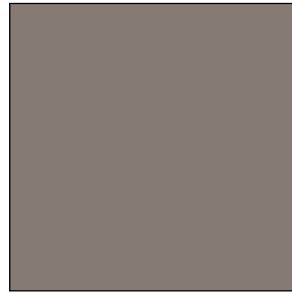
WT3



WT4



WT5



WT6



WT7



C1



LV1



LV2



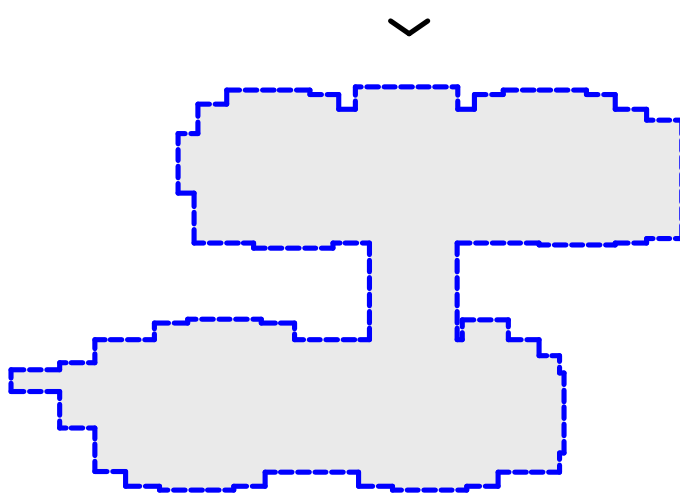
BAL1



WIN1



R1



KEY PLAN  
SCALE 1 : 1000

CLIENT

Uniting

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

ELEVATIONS SHEET 1 - MATERIAL - NORTH

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA210	DA01

SCALE	As indicated @ A1
DRAWN	Author
PROJECT PRINCIPLE	G.OLLERTON
DATE	27.10.2016

Morrison  
Design  
Partnership  
ARCHITECTS  
Since 1969



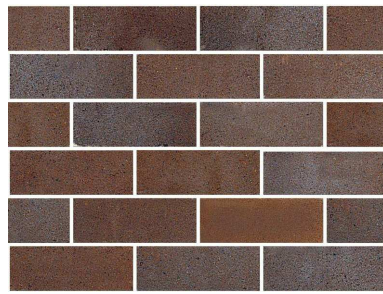
NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

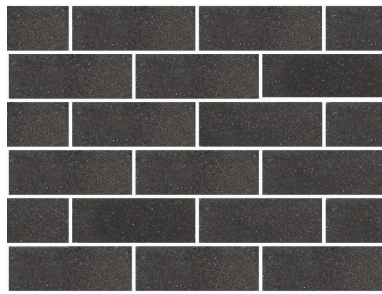


1 East - Elevation MATERIAL  
SCALE 1 : 100

MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
C1	TIMBER FINISH PANEL - RED CEDAR
R1	TIMBER PAILING FENCE
R2	PALISADE FENCE
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING



WT1



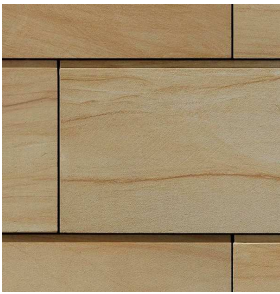
WT2



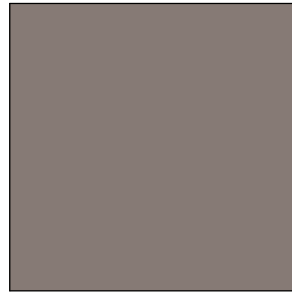
WT3



WT4



WT5



WT6



WT7



C1



LV1



LV2



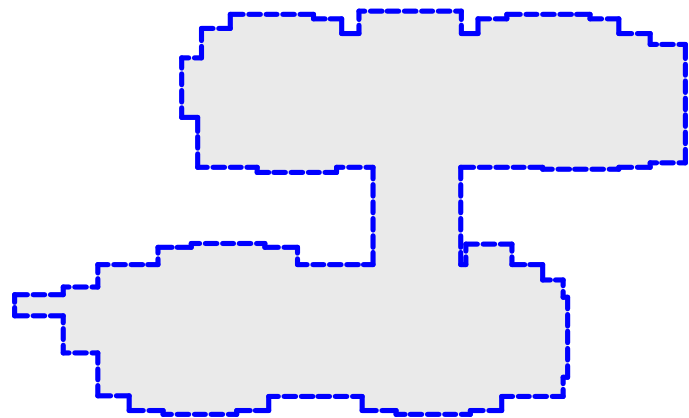
BAL1



WIN1



R1

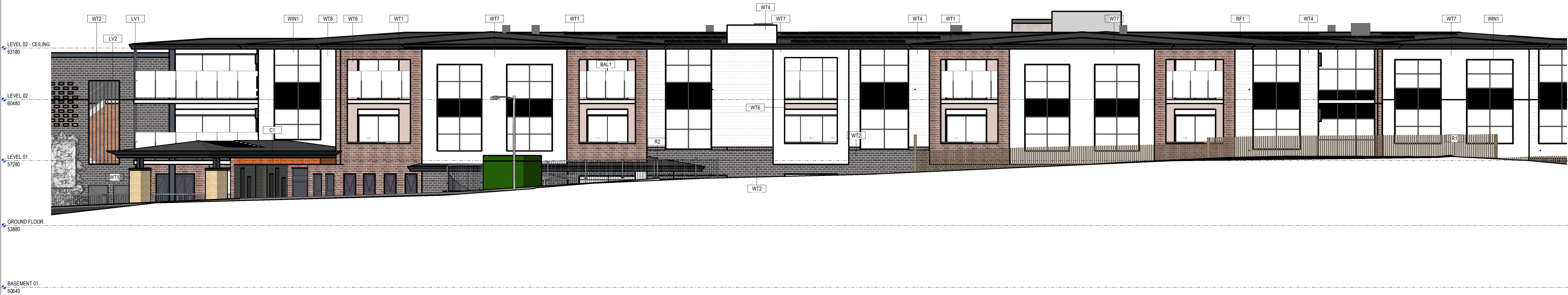


KEY PLAN  
SCALE 1 : 1000



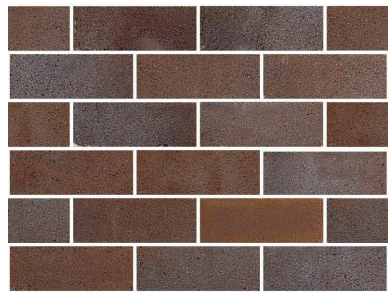
NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

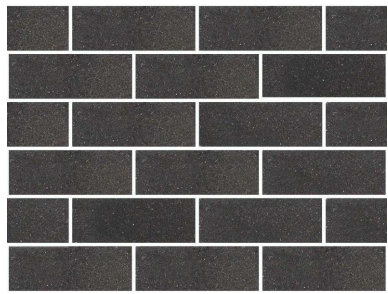


1 South - Elevation MATERIAL  
SCALE 1: 100

MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
C1	TIMBER FINISH PANEL - RED CEDAR
LV1	VERTICAL LOUVRES - WESTERN RED CEDAR
LV2	LOUVRES BLADES - ALUMINIUM
R1	TIMBER PAILING FENCE
R2	PALISADE FENCE
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT6	DARK CREAM PAINT FINISH
WT7	LIGHT CREAM PAINT FINISH
WT8	LIGHT GREY ALUMINIUM CLADDING



WT1



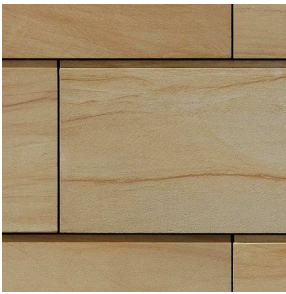
WT2



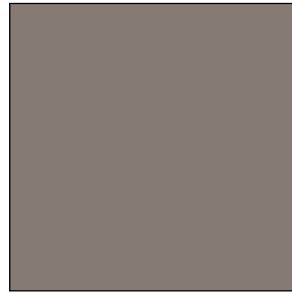
WT3



WT4



WT5



WT6



WT7



C1



LV1



LV2



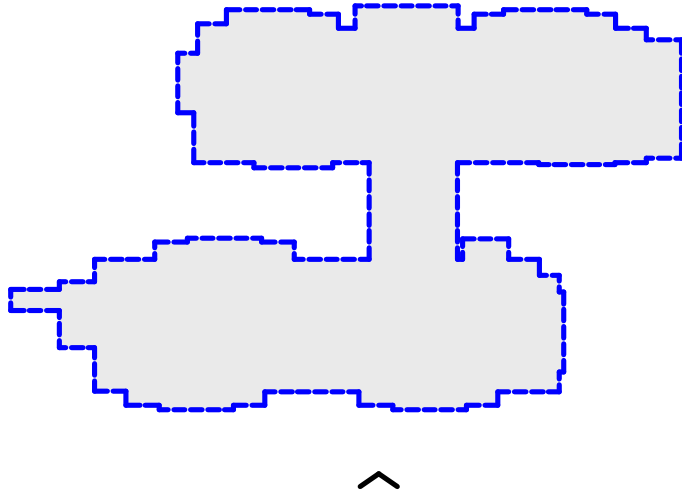
BAL1



WIN1



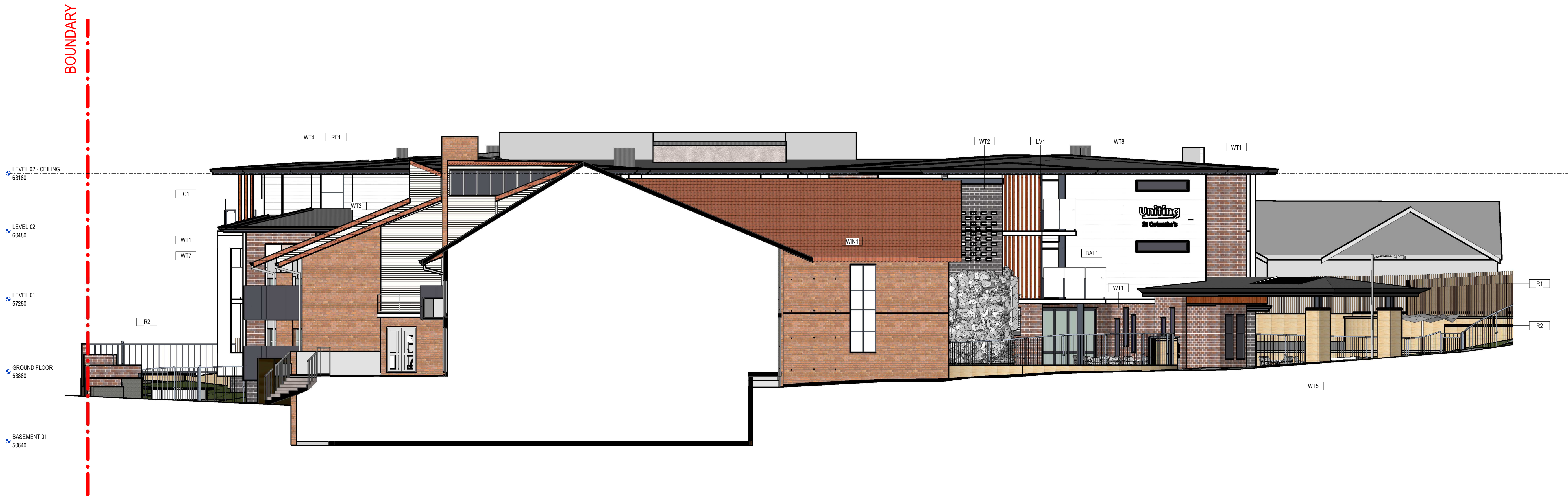
R1



KEY PLAN  
SCALE 1: 1000

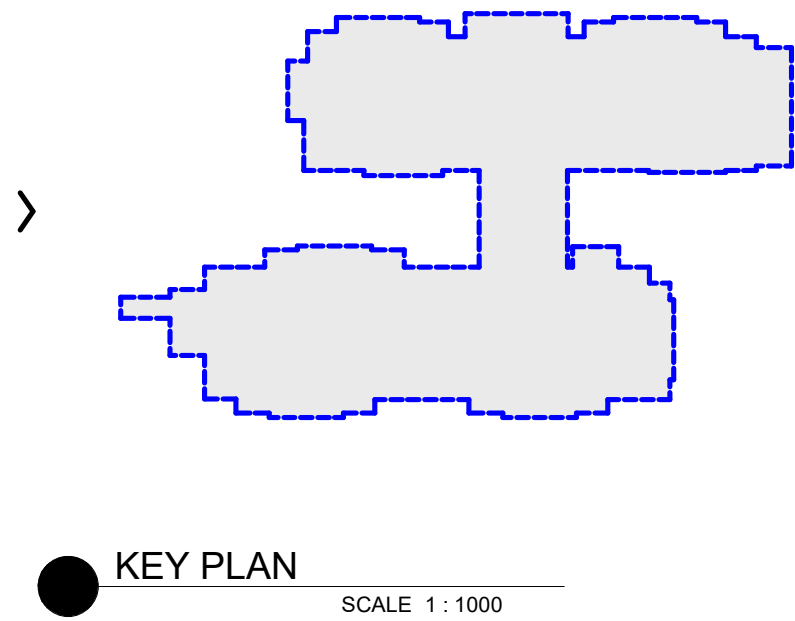


NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



1 WEST ELEVATION - MATERIAL  
SCALE 1 : 100

MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
C1	TIMBER FINISH PANEL - RED CEDAR
LV1	VERTICAL LOUVRES - WESTERN RED CEDAR
R1	TIMBER PAILING FENCE
R2	PALISADE FENCE
RF1	METAL ROOF SHEETS, COLOUR: LIGHT/ DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT7	LIGHT CREAM PAINT FINISH
WT8	LIGHT GREY ALUMINIUM CLADDING



KEY PLAN  
SCALE 1 : 1000



NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

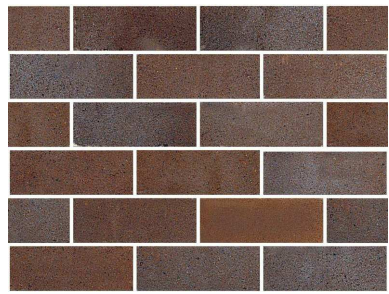


1 CENTRAL COURTYARD ELEVATION SOUTH - MATERIAL  
SCALE 1 : 100

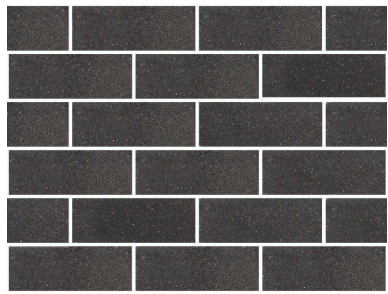


2 CENTRAL COURTYARD ELEVATION NORTH - MATERIAL  
SCALE 1 : 100

MATERIAL LEGEND	
RF1	METAL ROOF SHEETS. COLOUR: LIGHT/DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT3	FACE BRICK (EXISTING BRICK)
WT4	DARK GREY ALUMINIUM CLADDING
WT6	DARK CREAM PAINT FINISH
WT7	LIGHT CREAM PAINT FINISH



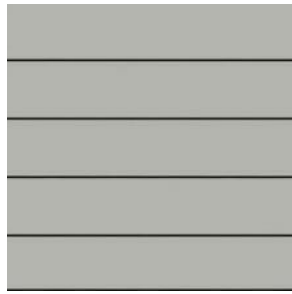
WT1



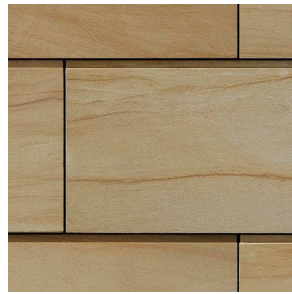
WT2



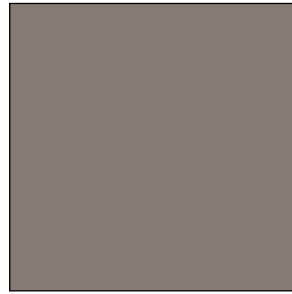
WT3



WT4



WT5



WT6



WT7



C1



LV1



LV2



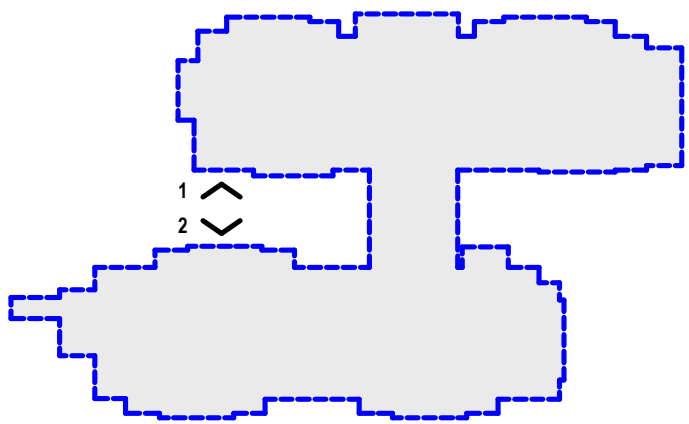
BAL1



WIN1



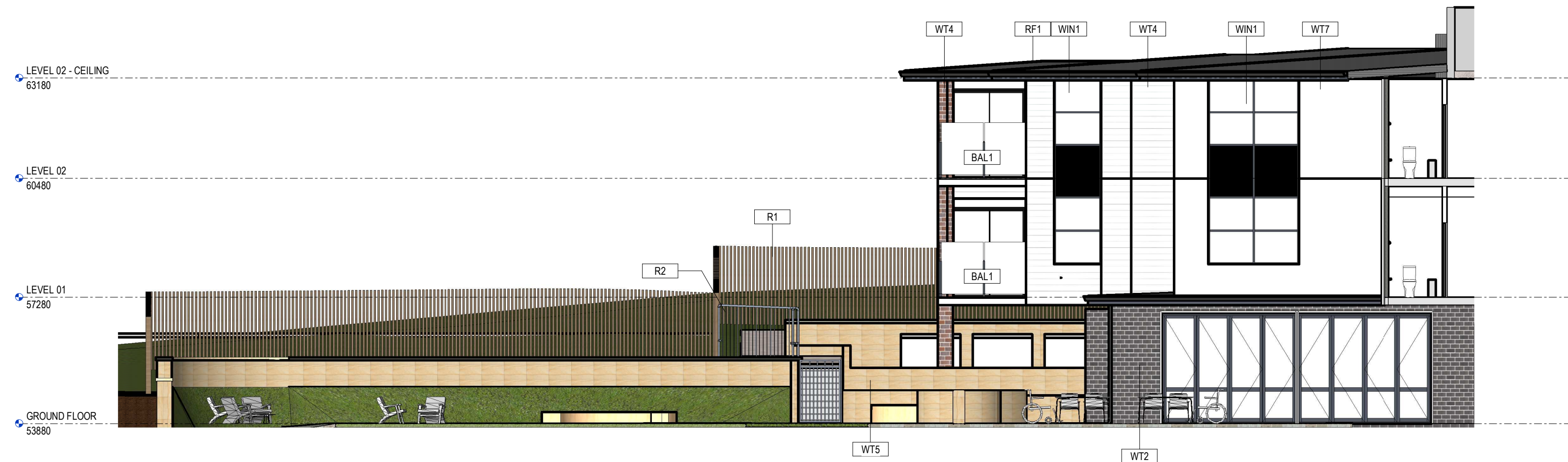
R1



KEY PLAN  
SCALE 1 : 1000



NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



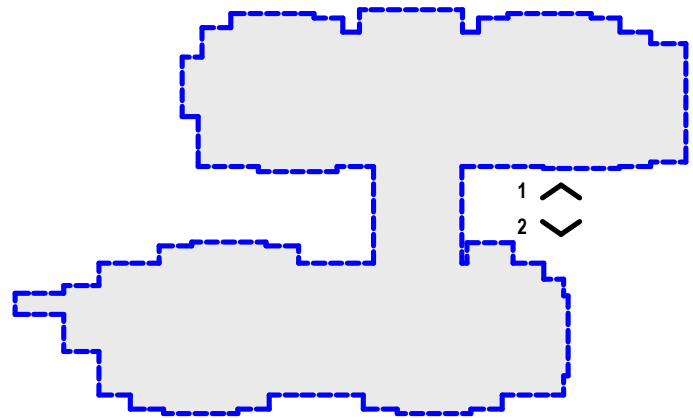
1 EASTERN COURTYARD NORTH ELEVATION - MATERIAL  
SCALE 1 : 100



2 EASTERN COURTYARD SOUTH ELEVATION - MATERIAL  
SCALE 1 : 100



MATERIAL LEGEND	
BAL1	ALUMINIUM FRAMED GLASS BALUSTRADE - COLOUR: CLEAR
R1	TIMBER PALING FENCE
R2	PALISADE FENCE
RF1	METAL ROOF SHEETS - COLOUR: LIGHT/DARK GREY
WIN1	ALUMINIUM FRAMED WINDOW - COLOUR: DARK GREY
WT1	FACE BRICK (BOWRAL RENOVATION GERTRUDIS)
WT2	FACE BRICK (BOWRAL BRAHMAN GRANITE)
WT4	DARK GREY ALUMINIUM CLADDING
WT5	SANDSTONE FACING
WT7	LIGHT CREAM PAINT FINISH



KEY PLAN  
SCALE 1 : 1000

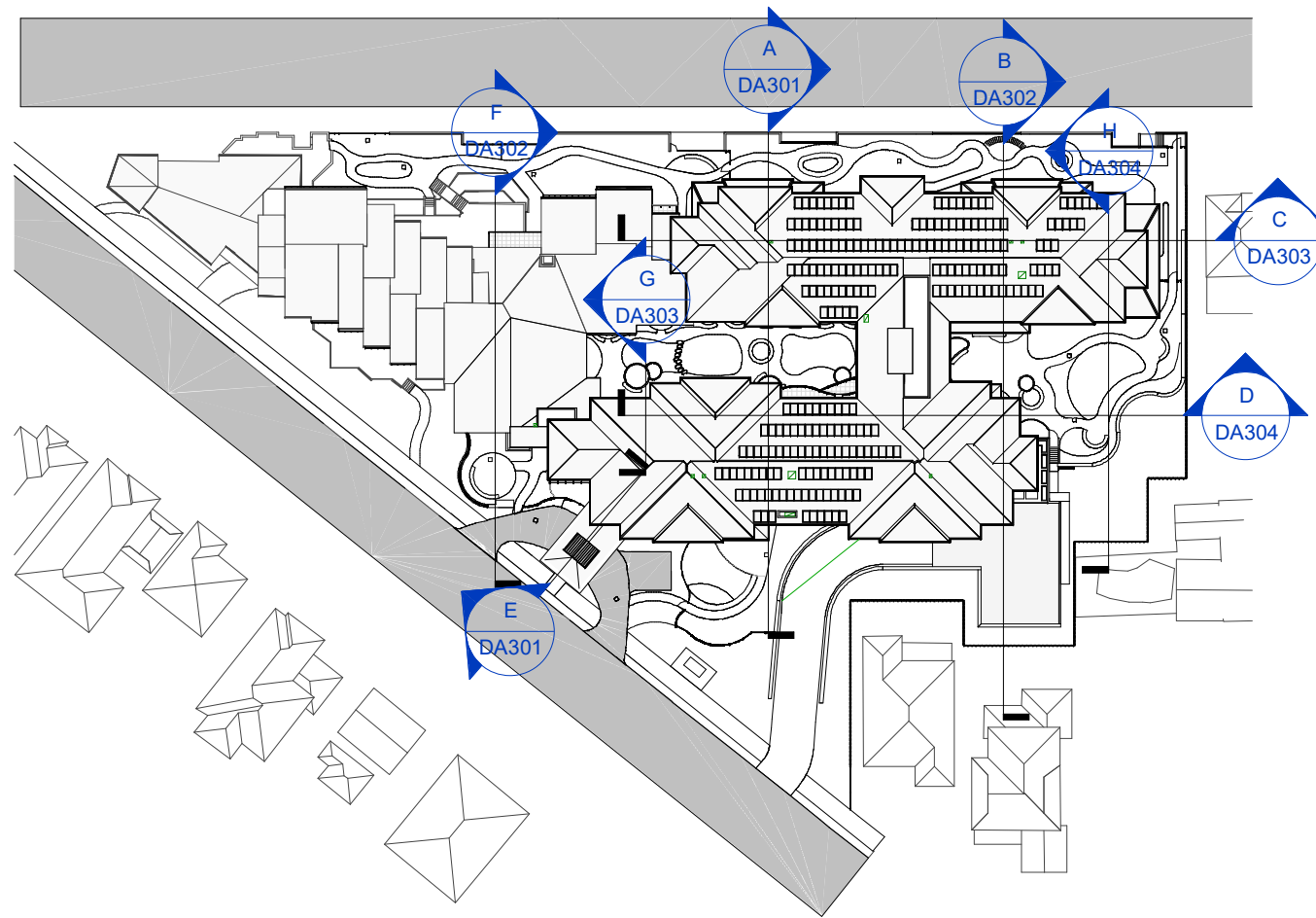
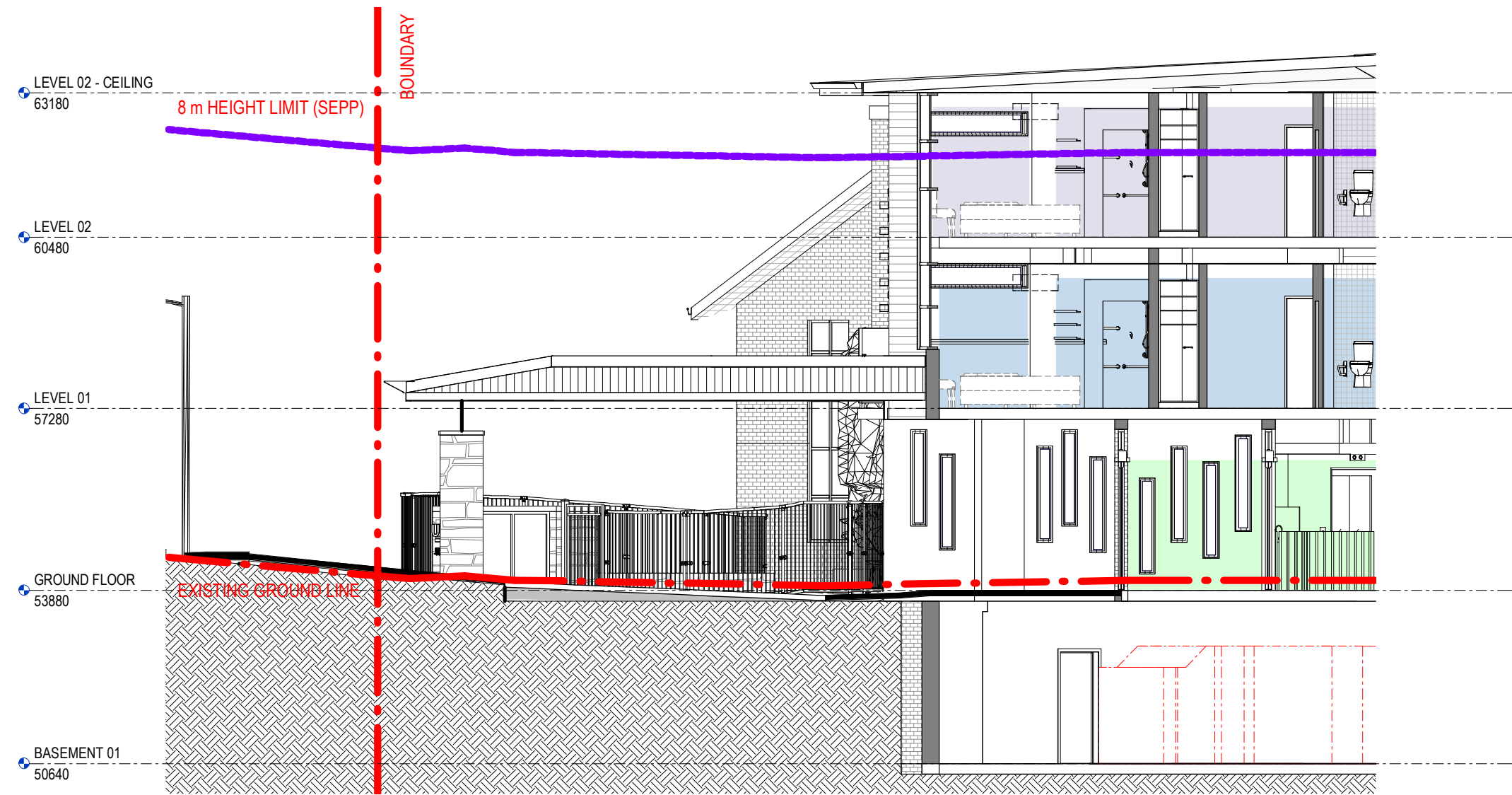


NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



## LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES

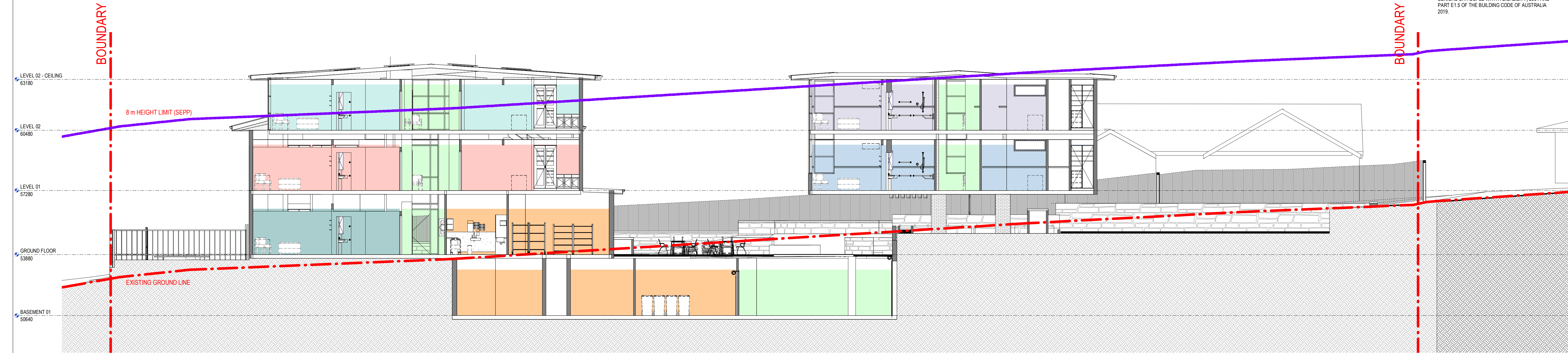


## 1 KEY PLAN

SCALE 1:1000



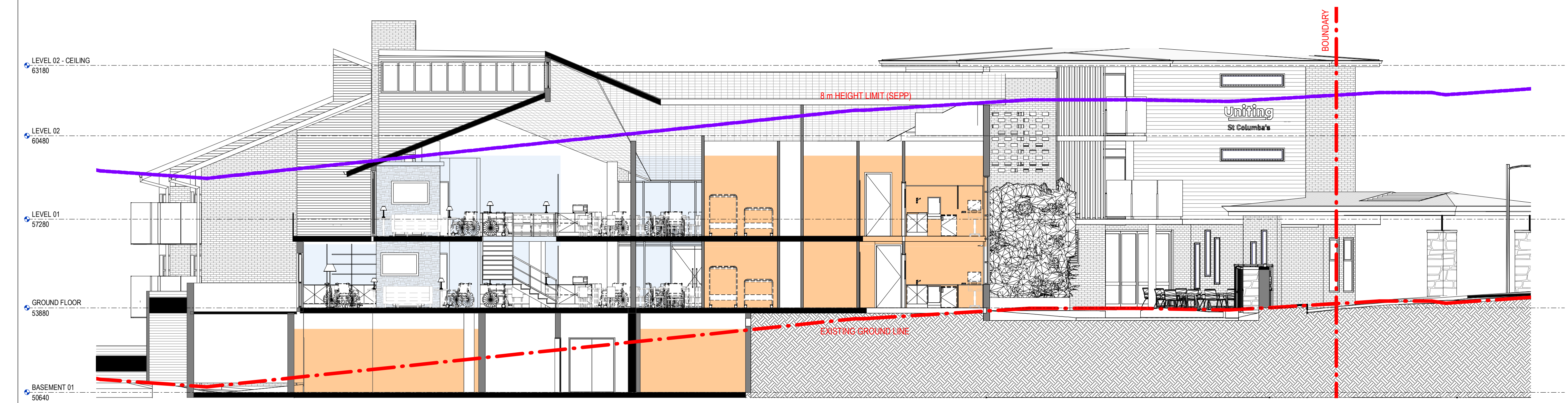
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



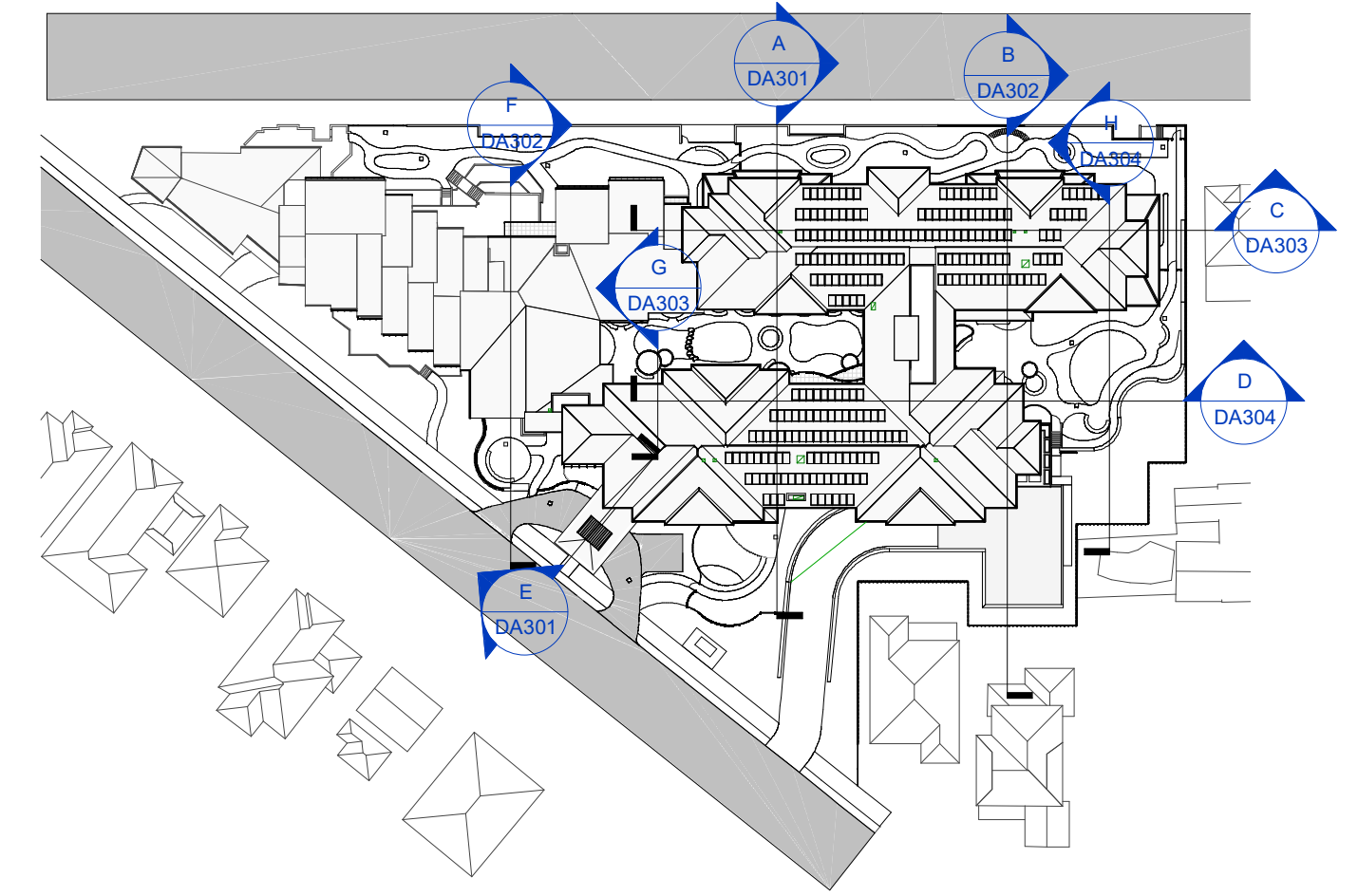
**B** SECTION B  
SCALE 1 : 100

LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES

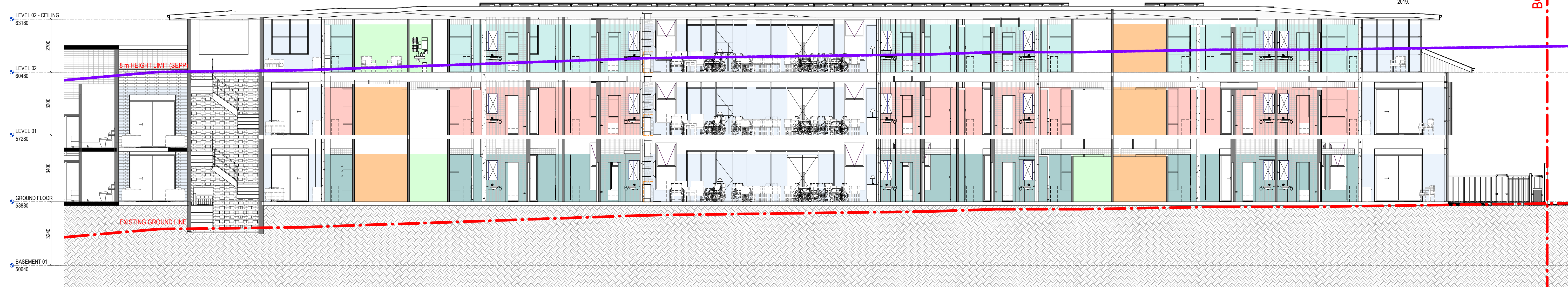


**F** SECTION F  
SCALE 1 : 100



**1** KEY PLAN  
SCALE 1 : 1000





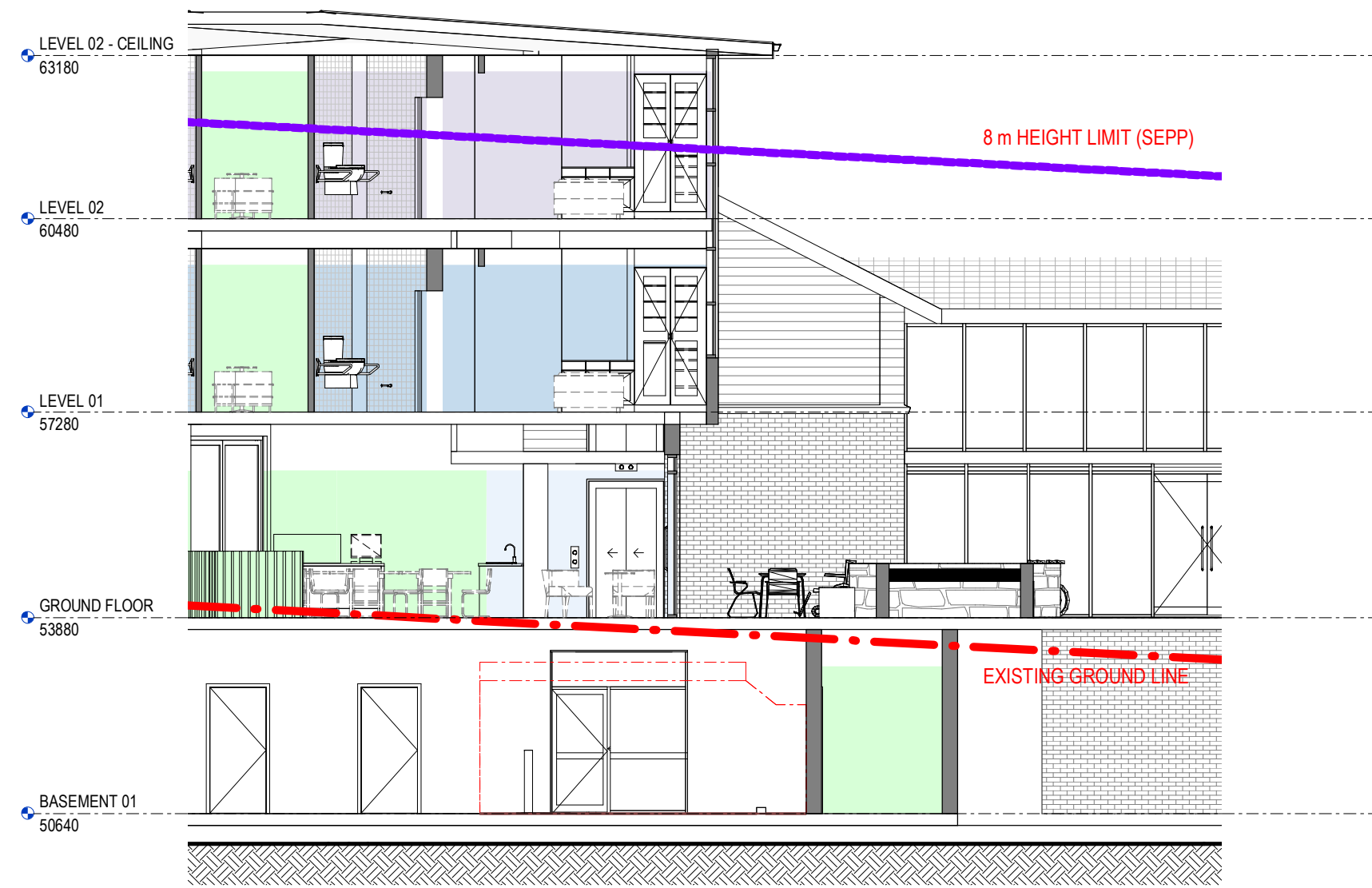
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

BOUNDARY

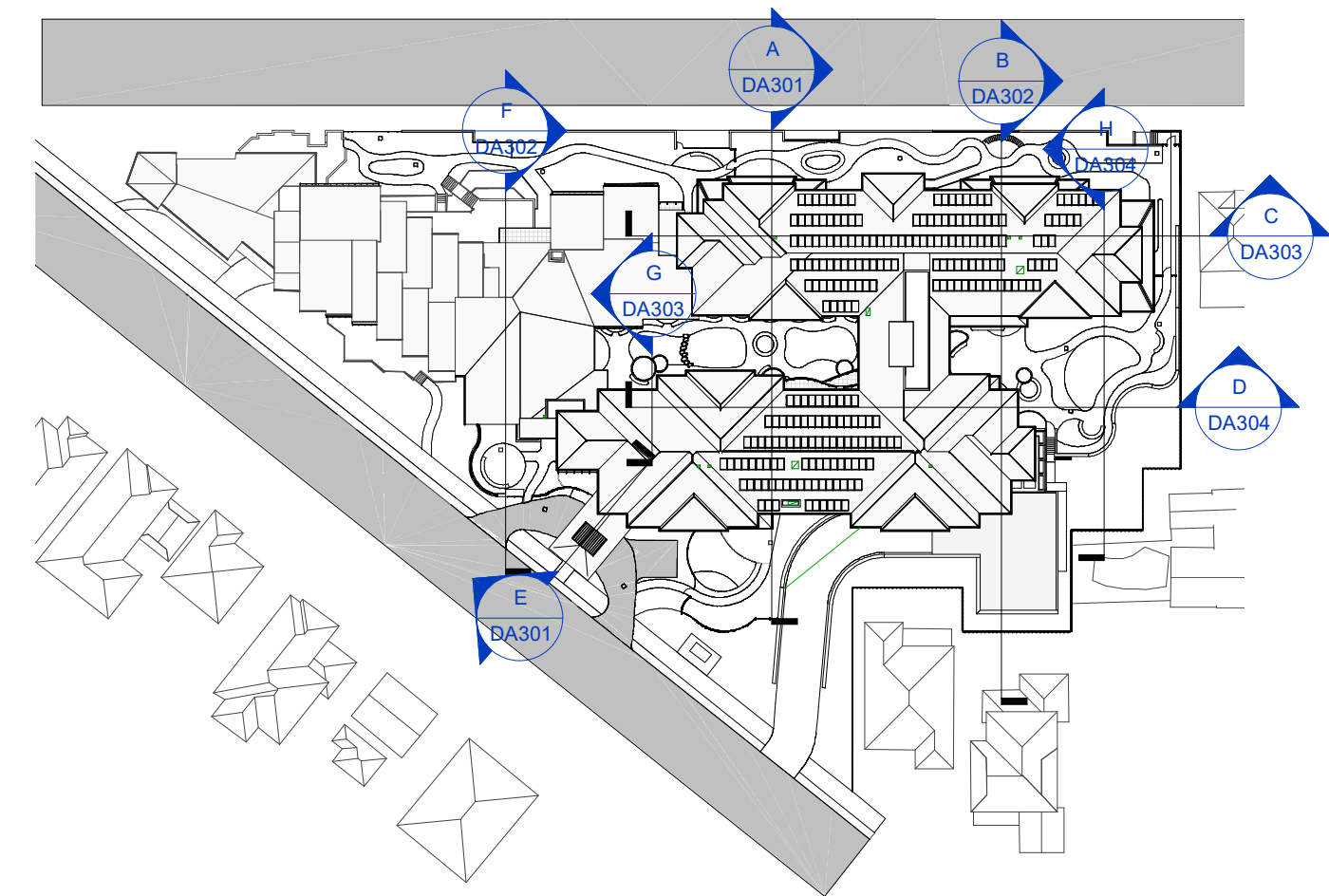
**C** SECTION C  
SCALE 1 : 100

LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES



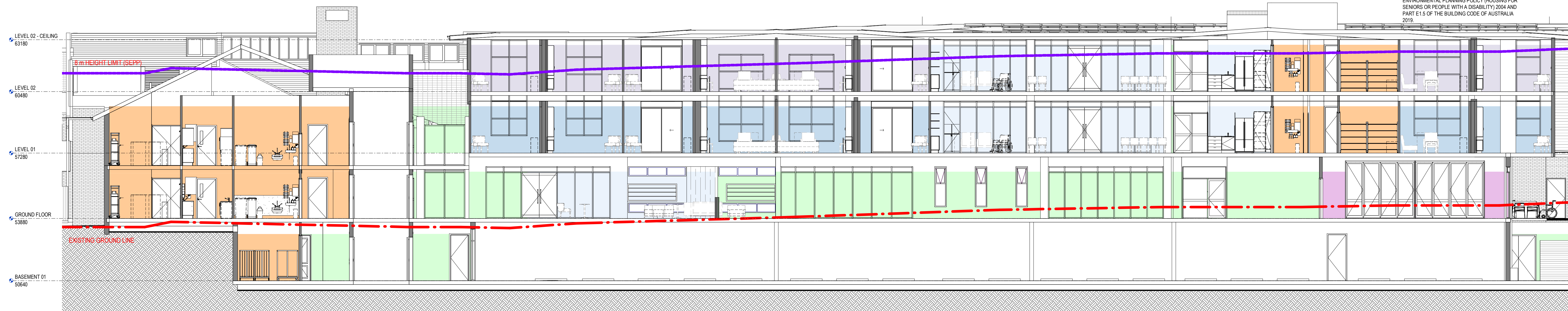
**G** SECTION G  
SCALE 1 : 100



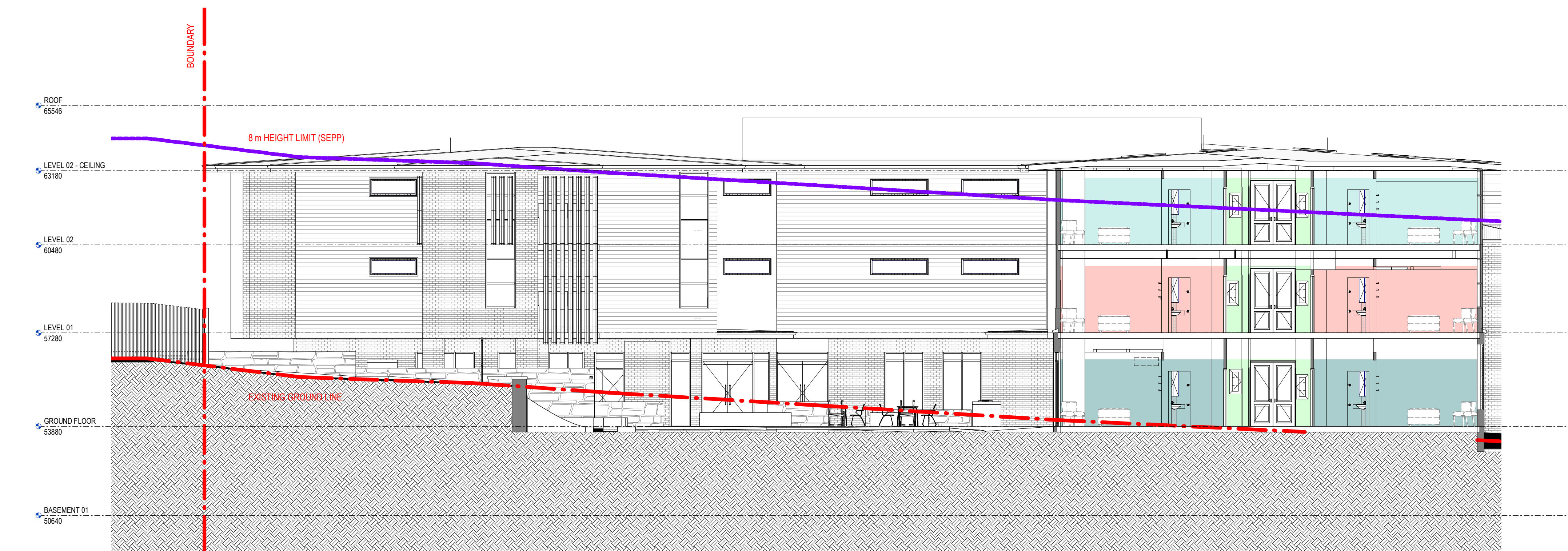
**1** KEY PLAN  
SCALE 1 : 1000



NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



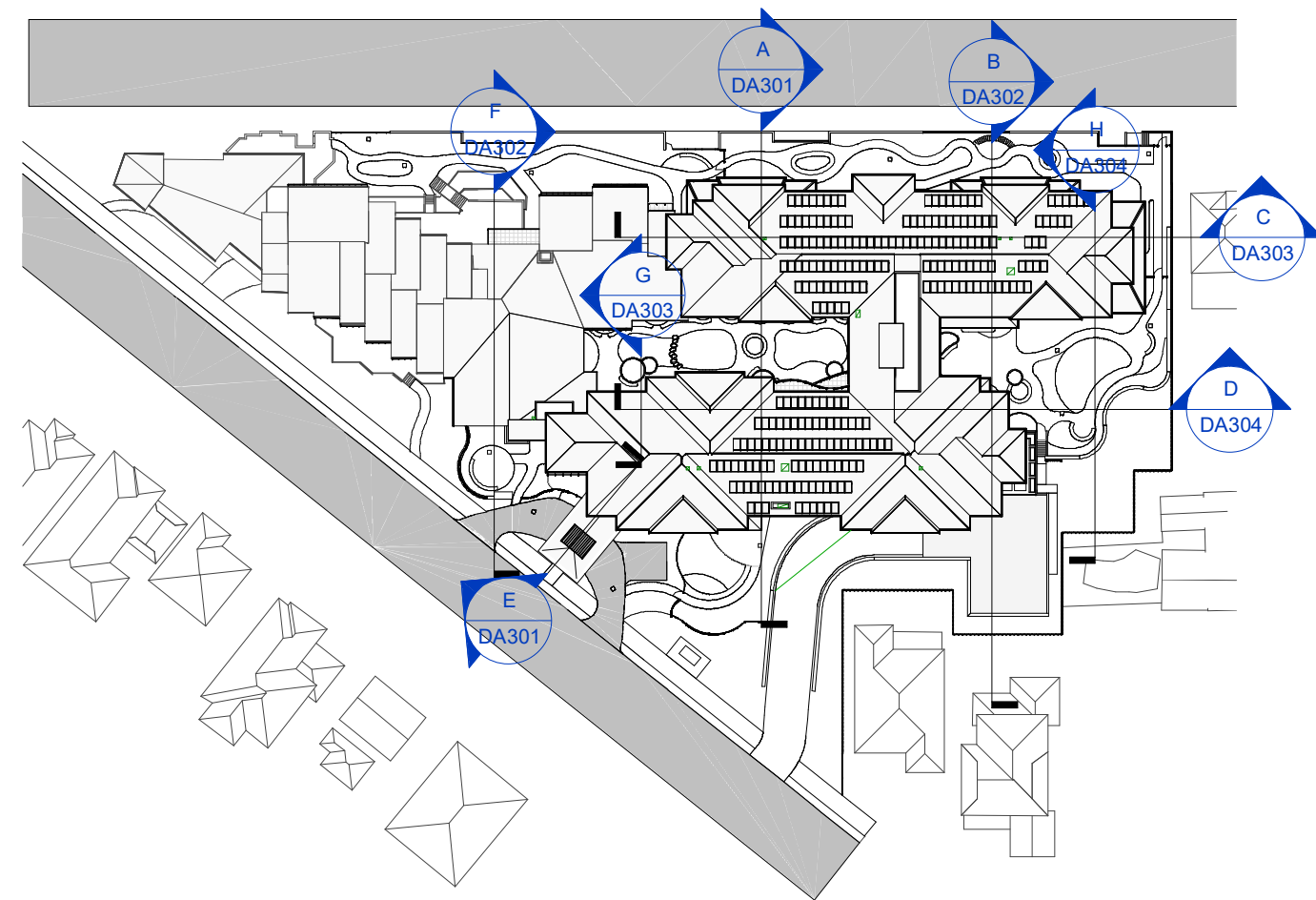
**D** SECTION D  
SCALE 1 : 100



**H** SECTION H  
SCALE 1 : 100

LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES



**2** KEY PLAN  
SCALE 1 : 1000

architecture  
interior design  
project management

CLIENT

**Uniting**

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

SECTIONS - SHEET 4

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-09-04	DA ISSUE	MM	
DA03	2020-11-10	REV DA ISSUE - Ground line & height plane added	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA304	DA03
SCALE	As indicated @ A1	
DRAWN	Author	
PROJECT PRINCIPLE	G.OLLERTON	
DATE	27.10.2016	

Morrison  
Design  
Partnership  
architects  
Since 1969





1 E-W Section  
SCALE 1 : 200



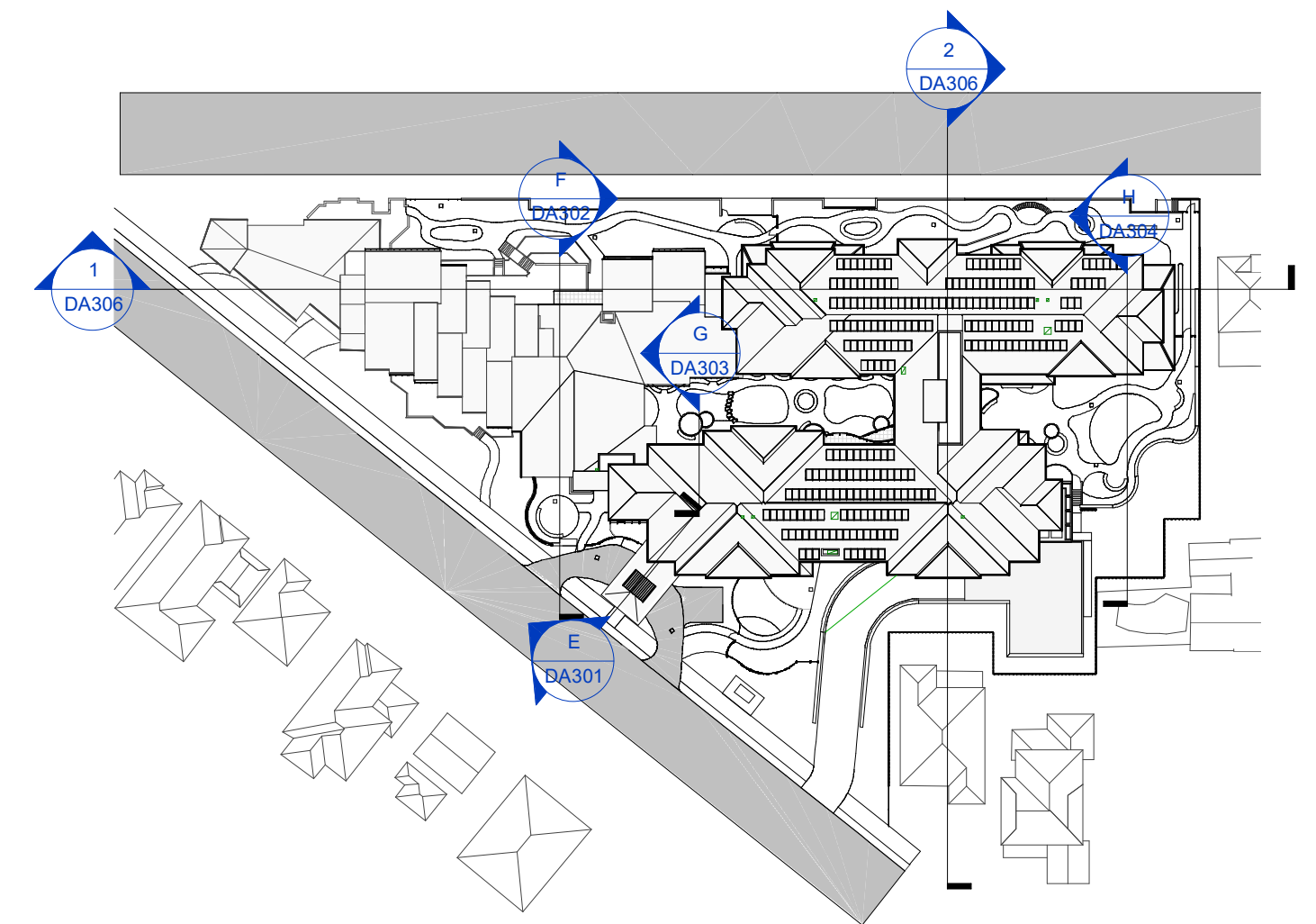
2 N-S Section  
SCALE 1 : 200

## LEGEND

- AMENITIES
- BOH
- COMMUNAL
- EXTERNAL
- GENERAL
- HOUSEHOLD 1
- HOUSEHOLD 2
- HOUSEHOLD 3
- HOUSEHOLD 4
- HOUSEHOLD 5
- MULTI-PURPOSE
- NONE
- SPECIALTY
- STAFF FACILITIES

### NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.



3 KEY PLAN  
SCALE 1 : 1000

architecture  
interior design  
project management

CLIENT

Uniting

PROJECT

UNITING St COLUMBA'S  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE

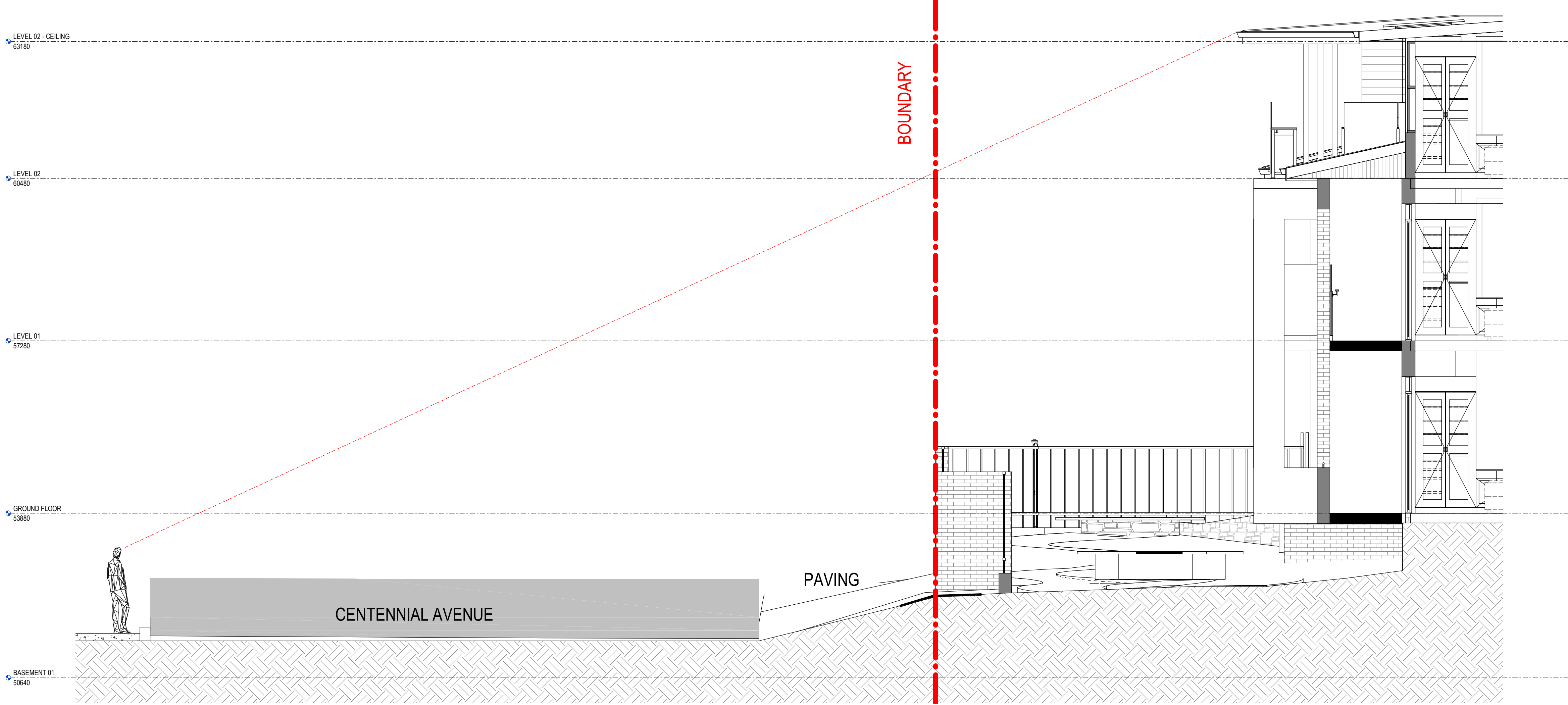
SITE SECTIONS

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-09-04	DA ISSUE	MM	
DA03	2020-11-10	REV DA ISSUE - Ground line & height plane added	MM	

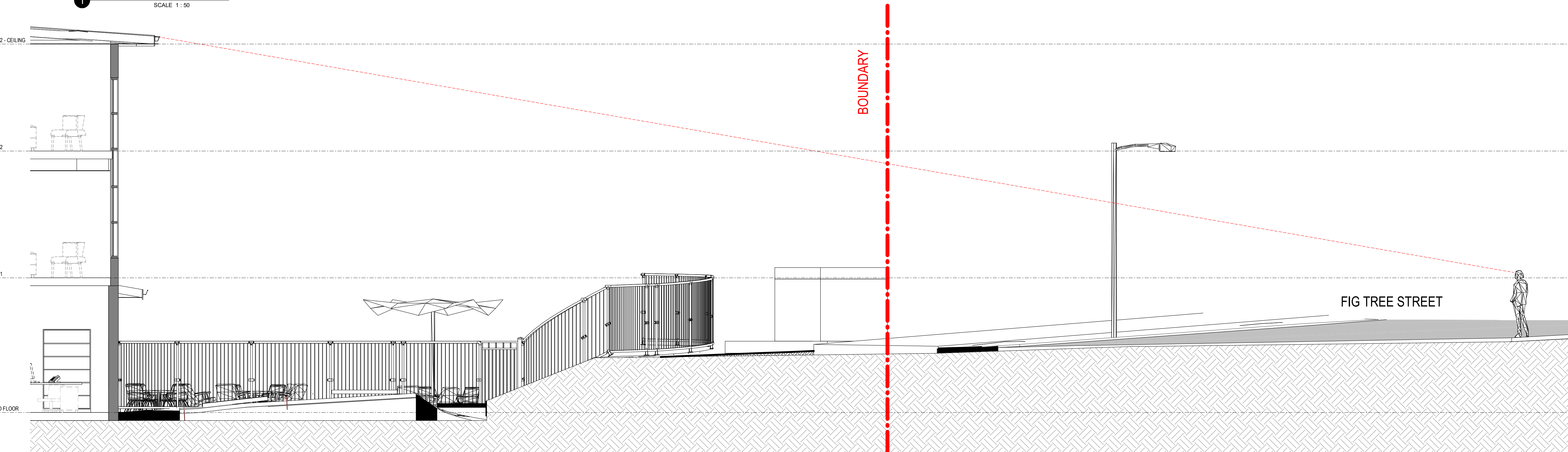
PROJECT NO.	DRAWING NO.	REVISION
3108	DA306	DA03
SCALE	As indicated @ A1	
DRAWN	Author	
PROJECT PRINCIPLE	G. OLLERTON	
DATE	27.10.2016	

Morrison  
Design  
Partnership  
ARCHITECTS  
Since 1969



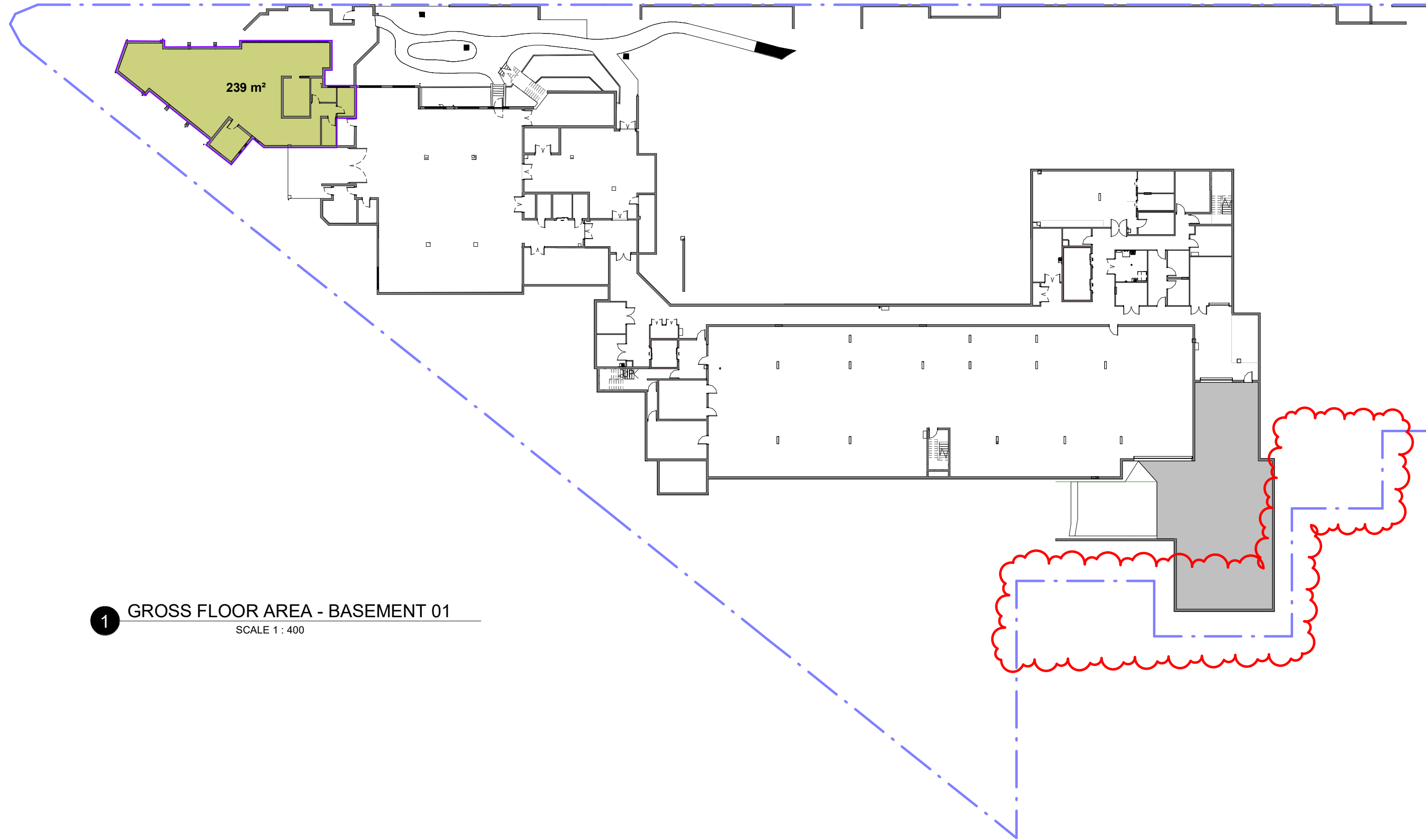


1 CENTENNIAL AVENUE VIEW  
SCALE 1 : 50



2 FIG TREE STREET VIEW  
SCALE 1 : 50





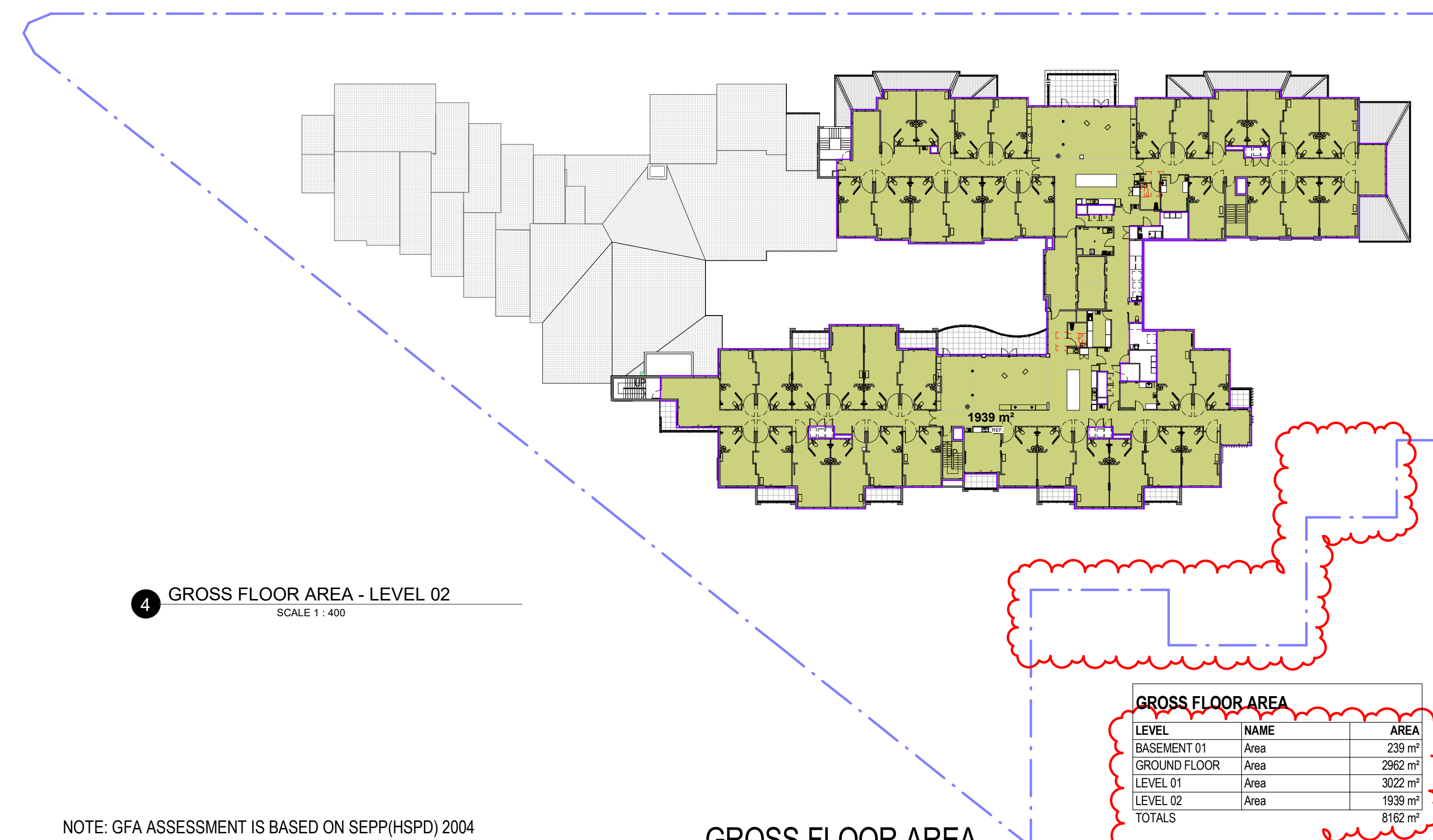
1 GROSS FLOOR AREA - BASEMENT 01  
SCALE 1:400



2 GROSS FLOOR AREA - GROUND FLOOR  
SCALE 1:400



3 GROSS FLOOR AREA - LEVEL 01  
SCALE 1:400



4 GROSS FLOOR AREA - LEVEL 02  
SCALE 1:400

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

NOTE: GFA ASSESSMENT IS BASED ON SEPP(HSPD) 2004 METHOD OF MEASUREMENT & CALCULATED TO OUTSIDE FACE OF EXTERNAL WALLS

GROSS FLOOR AREA

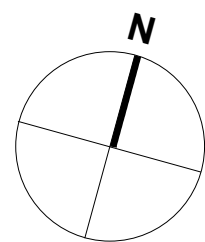
Gross Building Area

GROSS FLOOR AREA		
LEVEL	NAME	AREA
BASEMENT 01	Area	239 m²
GROUND FLOOR	Area	2962 m²
LEVEL 01	Area	3022 m²
LEVEL 02	Area	1939 m²
TOTALS		8162 m²

TOTAL GFA = 8162 m²

SITE AREA = 8162 m²

FSR = 1.0:1







1 LANDSCAPED AREA PLAN  
SCALE 1 : 250

LEGEND

- DEEP SOIL
- LANDSCAPING ON TERRACE

LANDSCAPE AREA	
Name	Area
DEEP SOIL 1	2188 m²
DEEP SOIL 2	176 m²
DEEP SOIL 3	201 m²
DEEP SOIL 4	24 m²
DEEP SOIL 5	399 m²
DEEP SOIL 6	306 m²
LANDSCAPING ON TERRACE 1	161 m²
LANDSCAPING ON TERRACE 2	54 m²
LANDSCAPING ON TERRACE 3	145 m²
	3655 m²
TOTAL LANDSCAPED AREA :	
	3655m²
LANDSCAPED AREA PER BED (3655/142):	
	25.7m²
LANDCPAED AREA PERCENTAGE TO OVERALL SITE (3655/8162):	
	45%

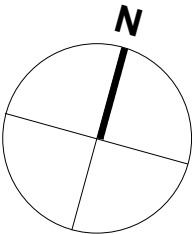
NOTE  
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

architecture  
interior design  
project management

CLIENT  
**Uniting**

PROJECT  
**UNITING St COLUMBA'S**  
11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

DRAWING TITLE  
**LANDSCAPE AREA PLAN**

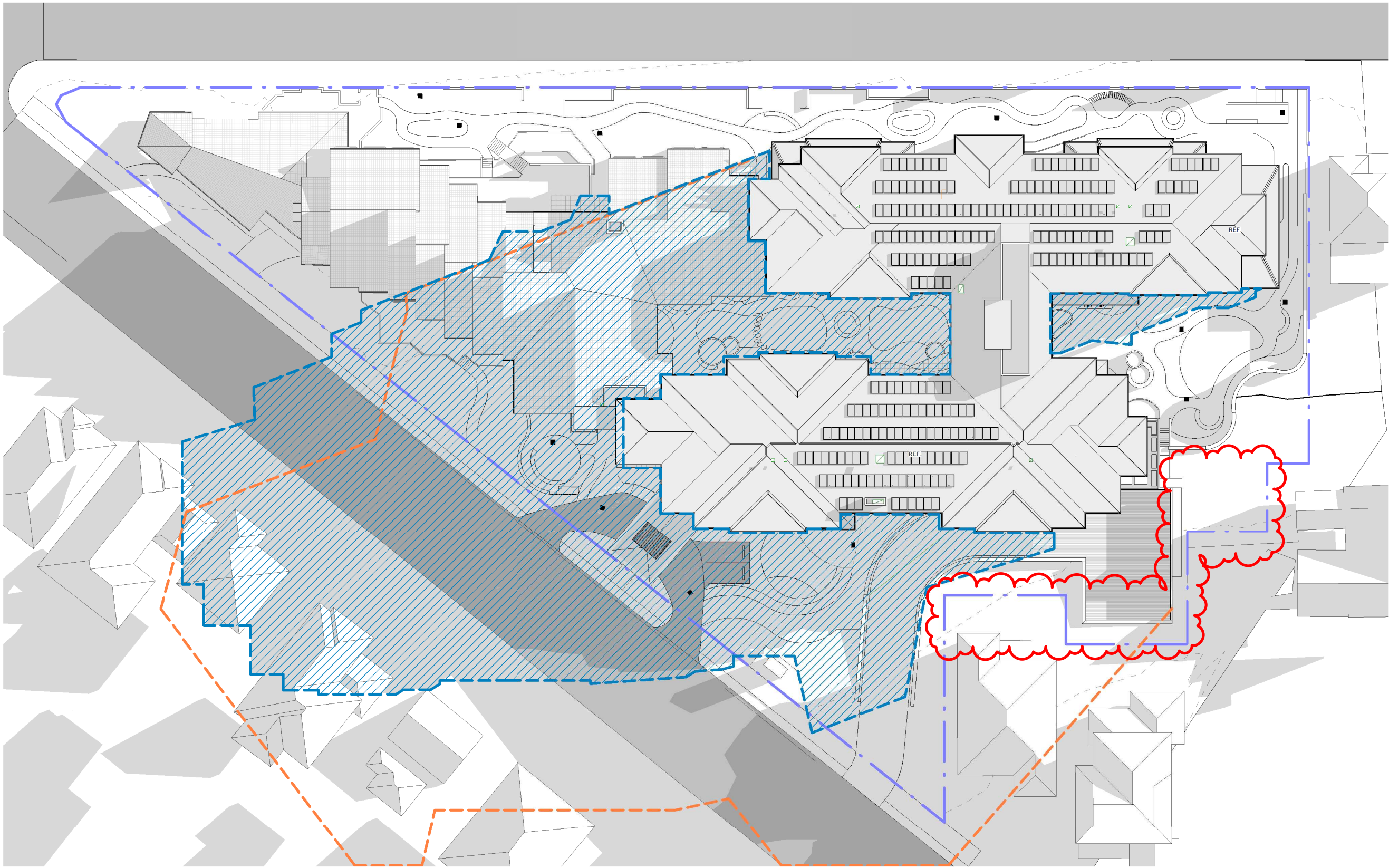


REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-09-10	DA ISSUE	MM	
DA04	2020-11-10	REV DA ISSUE - Boundaries altered, GFA altered	MM	

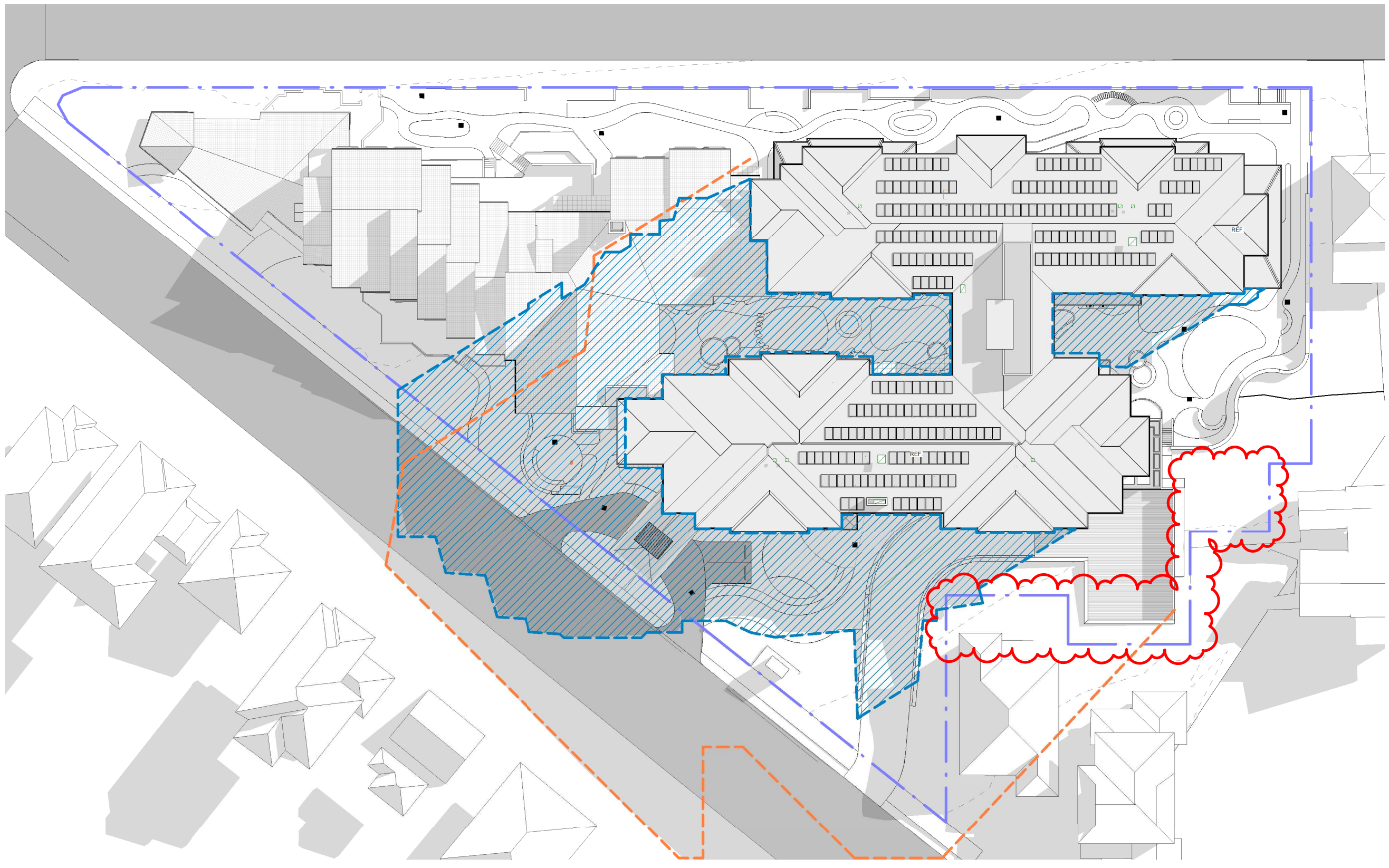
PROJECT NO.	DRAWING NO.	REVISION
3108	DA810	DA04
SCALE		As indicated @ A1
DRAWN		Author
PROJECT PRINCIPLE		G.OLLERTON
DATE		27.10.2016

Morrison  
Design  
Partnership  
architects  
Since 1969

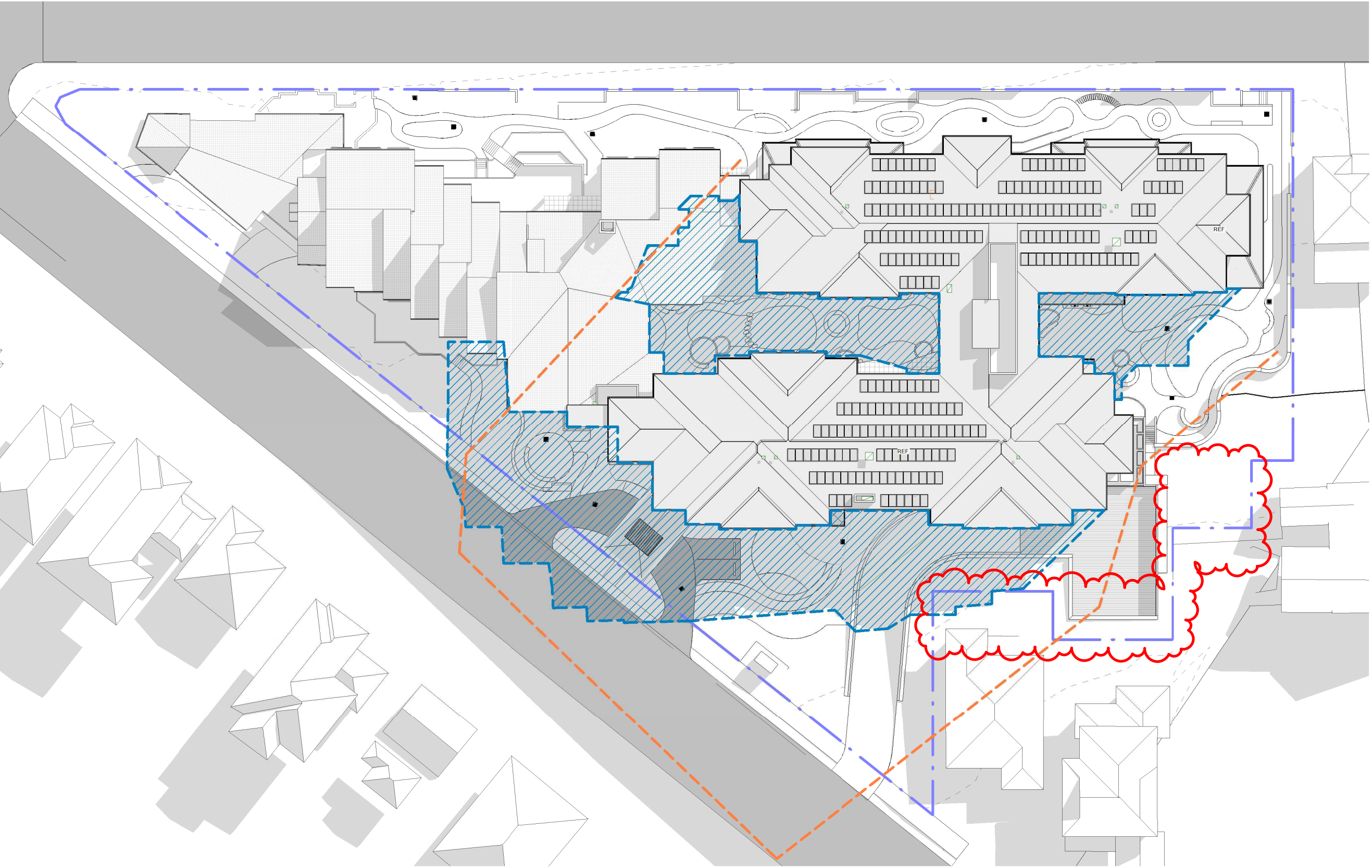




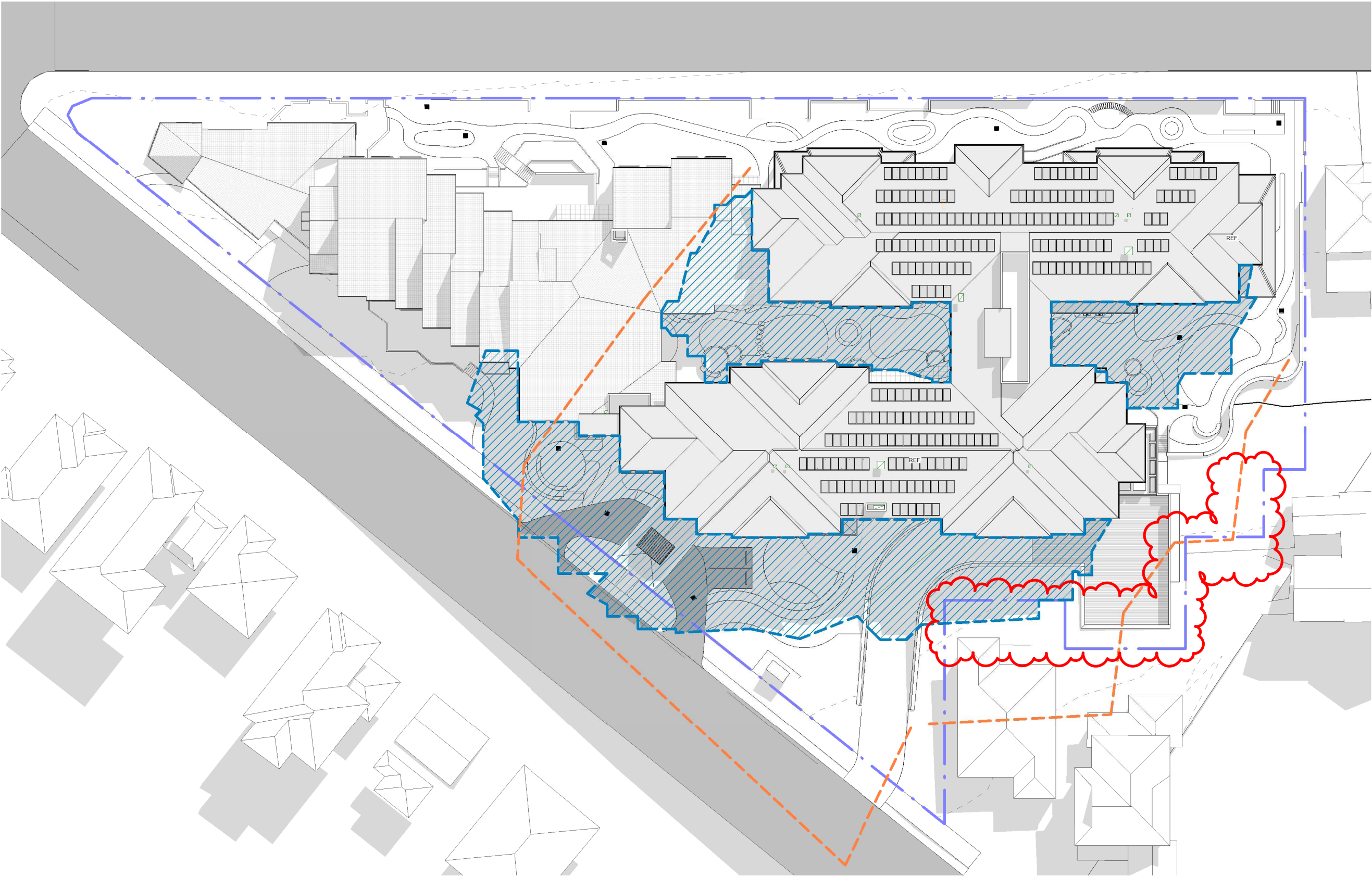
1 9am 22 June  
SCALE 1 : 500



6 10am 22 June  
SCALE 1 : 500



5 11am 22 June  
SCALE 1 : 500



2 12pm 22 June  
SCALE 1 : 500

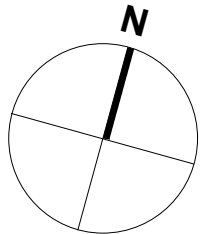
NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

DCP COMPLIANT ENVELOPE SHADOW OUTLINE  
PROPOSED BUILDING SHADOW  
BOUNDARY LINE

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA901	DA03
SCALE	As indicated @ A1	
DRAWN		
PROJECT PRINCIPLE	G.OLLERTON	
DATE	27.10.2016	



architecture  
interior design  
project management

NSW A&B REG ARCHITECT: G. OLLERTON #7621  
ACN: 001 595 268  
Suite 302/69 Christie Street St. Leonards NSW 2065 | 02 99665566 | www.mdp.com.au

CLIENT

Uniting

PROJECT

UNITING St COLUMBA'S

11-15 FIG TREE STREET, LANE COVE

LOT 2 DP184731

LOTS A, B, C & D DP385033

LOTS 1, 2 & 3 DP339444

© Copyright  
These drawings and designs and the copyright thereof are the property of Morrison Design Partnership Pty. Ltd. and must not be used retained or copied without the written permission of Morrison Design Partnership Pty. Ltd. ACN 001 595 268  
BIM 360//3108 - Uniting St Columba Lane Cove/3108 - Uniting St Columbia CENTRAL(V20).rvt

DRAWING TITLE

PROPOSED SHADOW ANALYSIS VS  
DCP COMPLIANT

REV DATE AMENDMENT INITIALS CHECK

DA01 2020-08-11 DA ISSUE MM

DA02 2020-08-24 DA ISSUE MM

DA03 2020-11-10 REV DA ISSUE - Boundaries, trees altered MM

PROJECT NO. 3108

DRAWING NO. DA901

REVISION DA03

SCALE As indicated @ A1

DRAWN

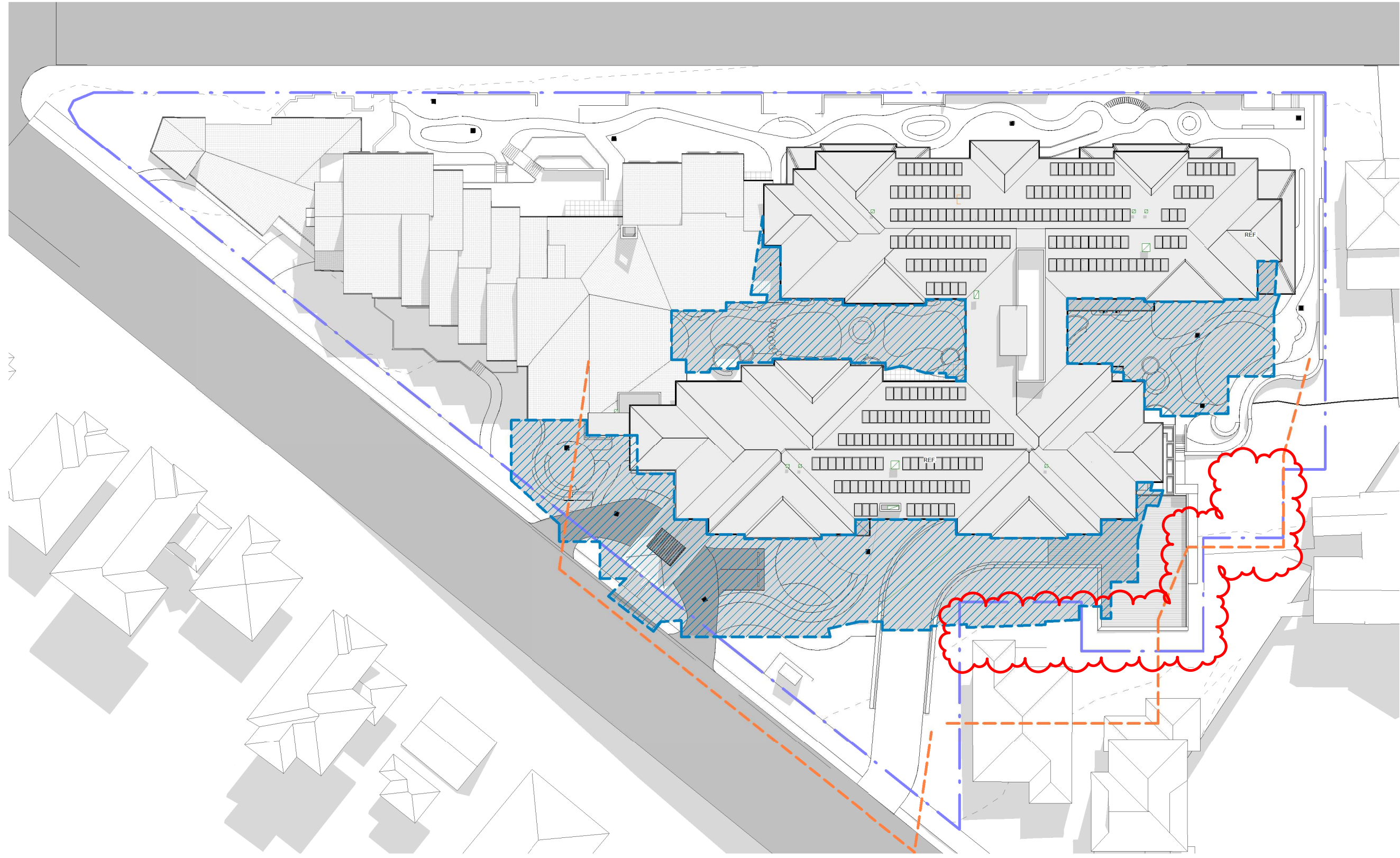
PROJECT PRINCIPLE G.OLLERTON

DATE 27.10.2016

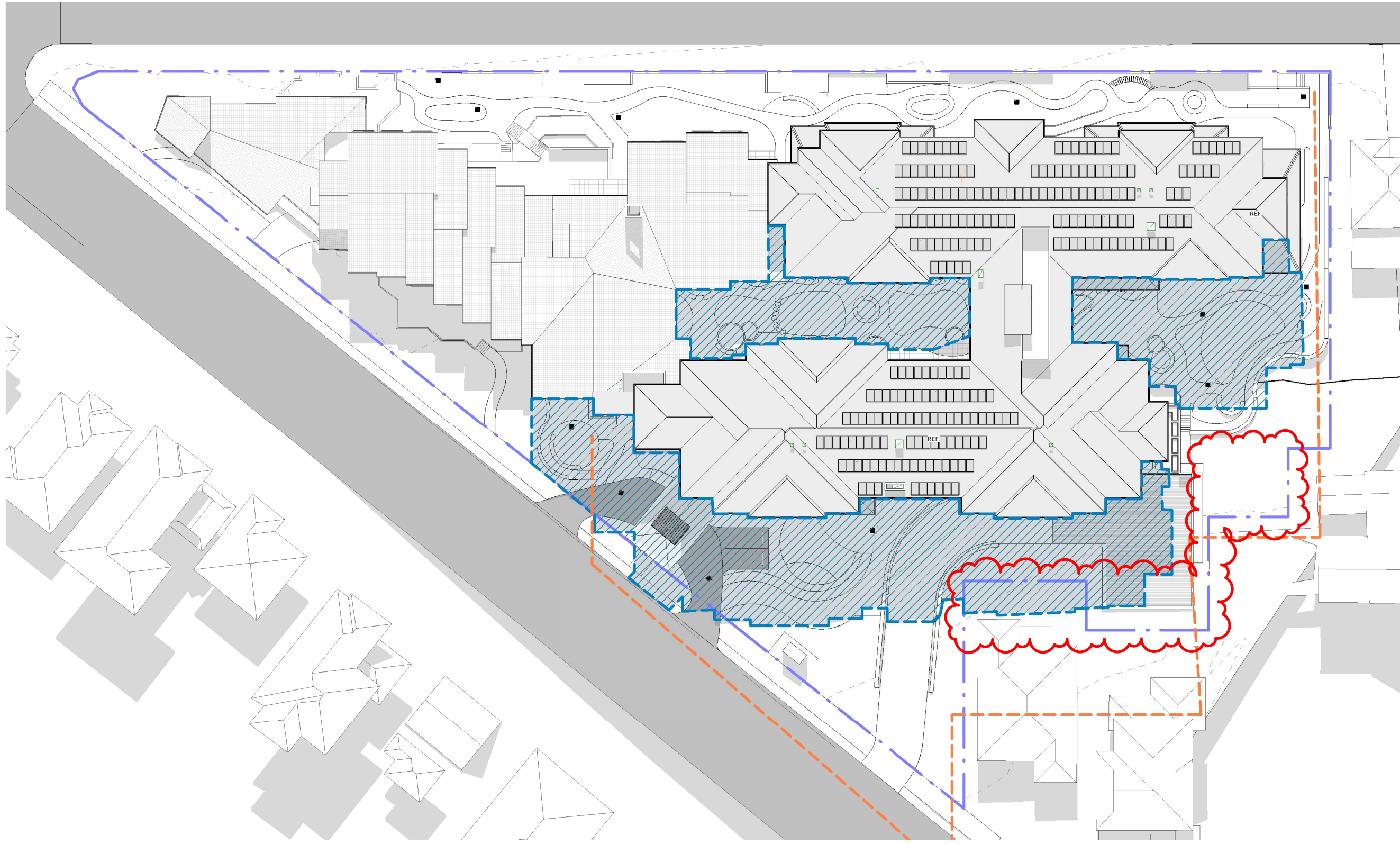
Morrison  
Design  
Partnership  
architects

Since 1969

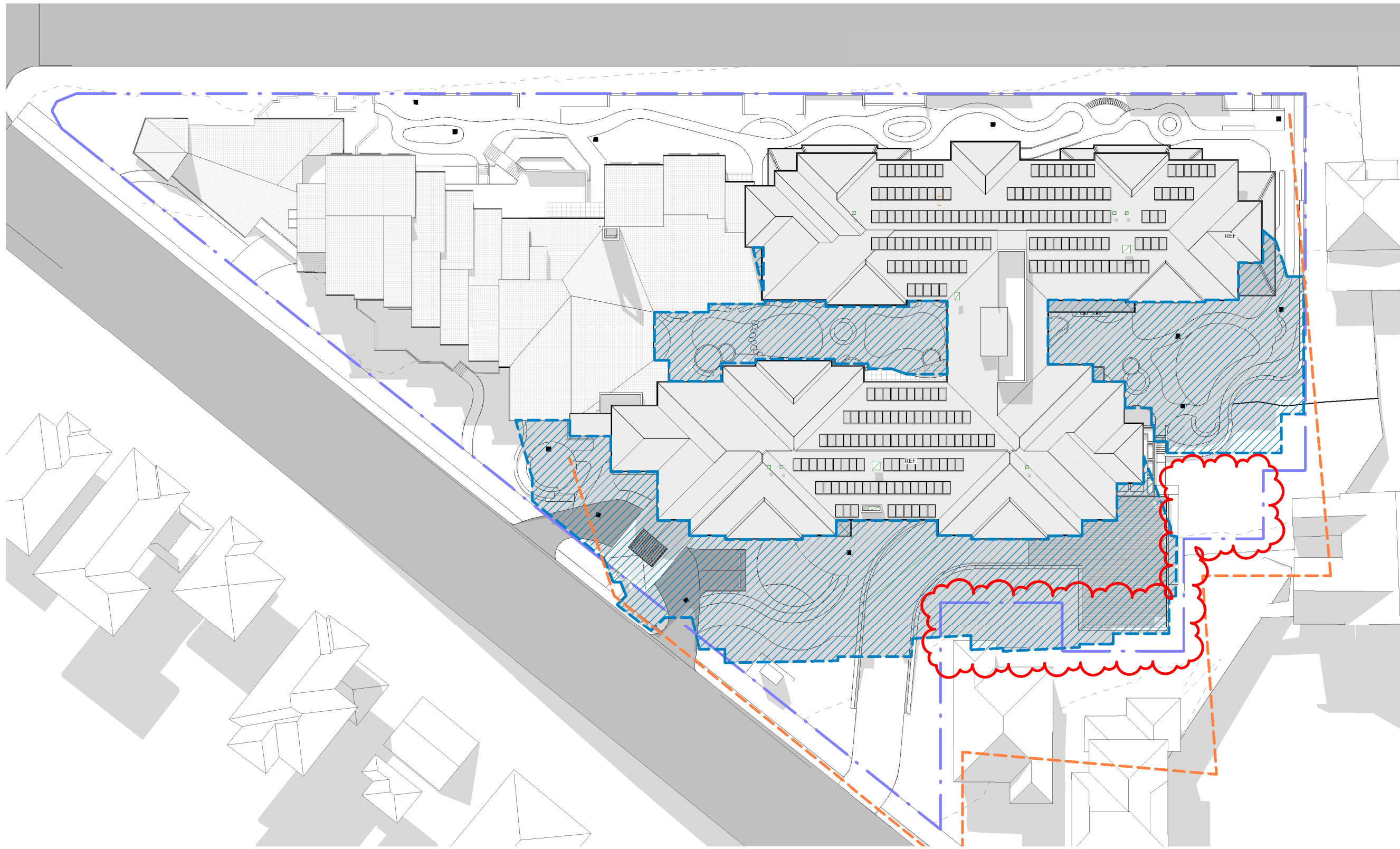




1 1pm 22 June  
SCALE 1 : 500



2 2pm 22 June  
SCALE 1 : 500

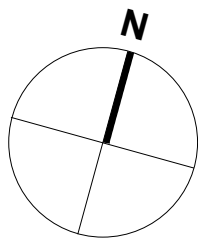


3 3pm 22 June  
SCALE 1 : 500

NOTE

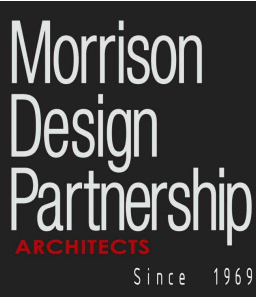
THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

	DCP COMPLIANT ENVELOPE SHADOW OUTLINE
	PROPOSED BUILDING SHADOW
	BOUNDARY LINE

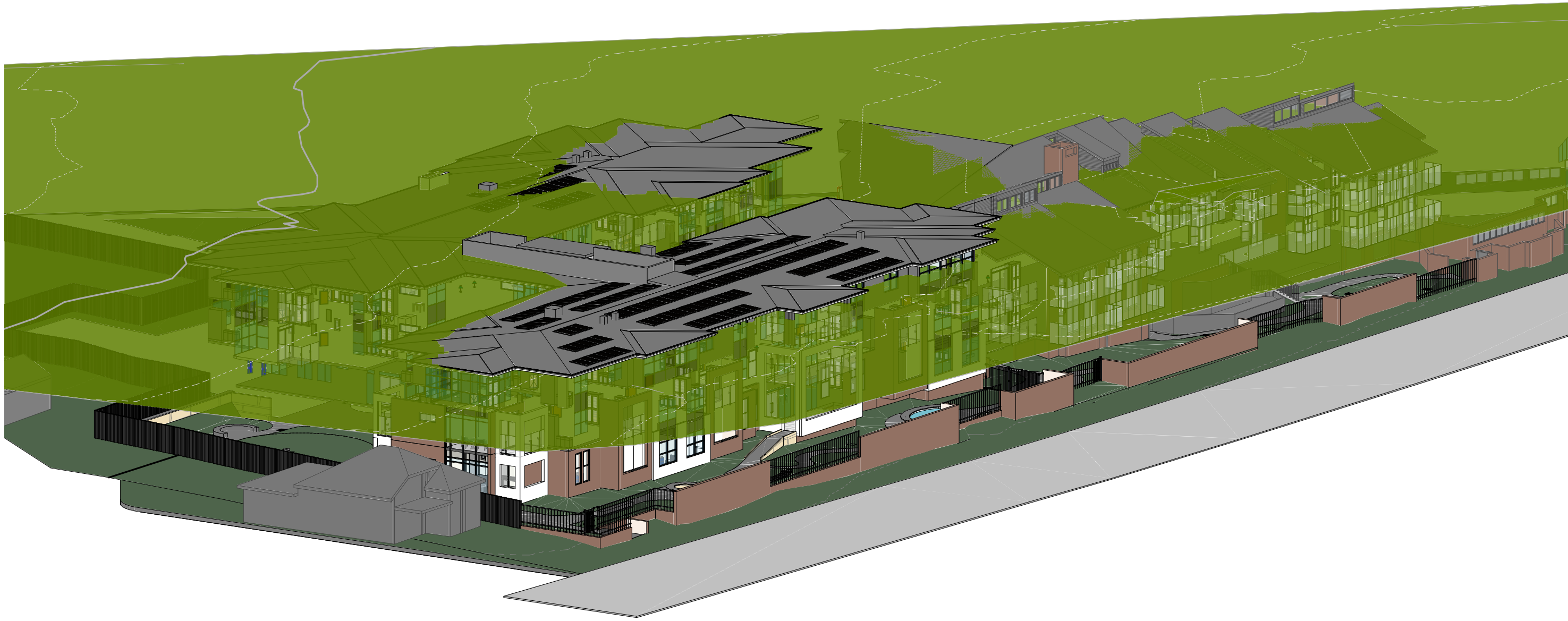


REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	
DA02	2020-08-24	DA ISSUE	MM	
DA03	2020-11-10	REV DA ISSUE - Boundaries, trees altered	MM	

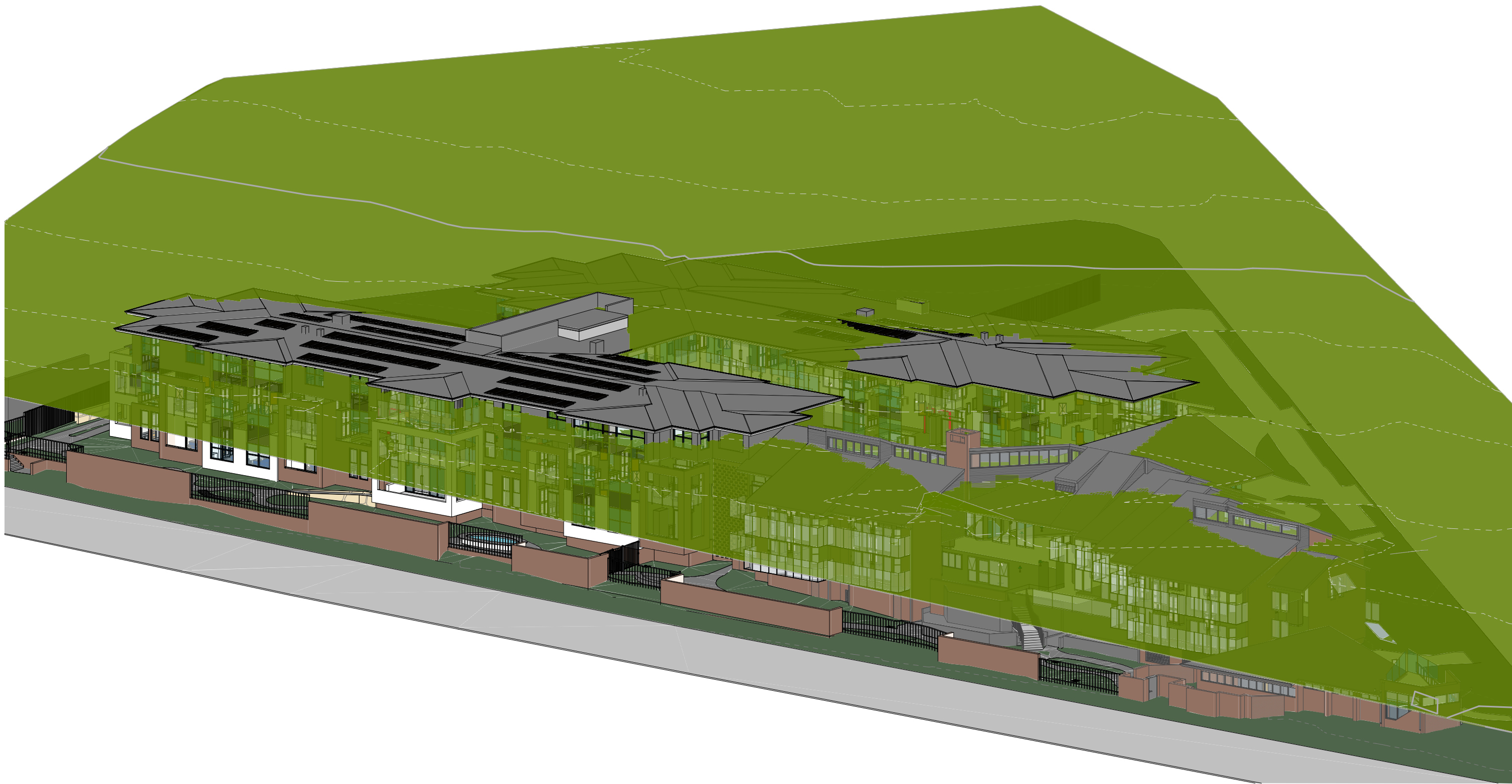
PROJECT NO.	DRAWING NO.	REVISION
3108	DA902	DA03
SCALE	As indicated @ A1	
DRAWN	Author	
PROJECT PRINCIPLE	G.OLLERTON	
DATE	27.10.2016	



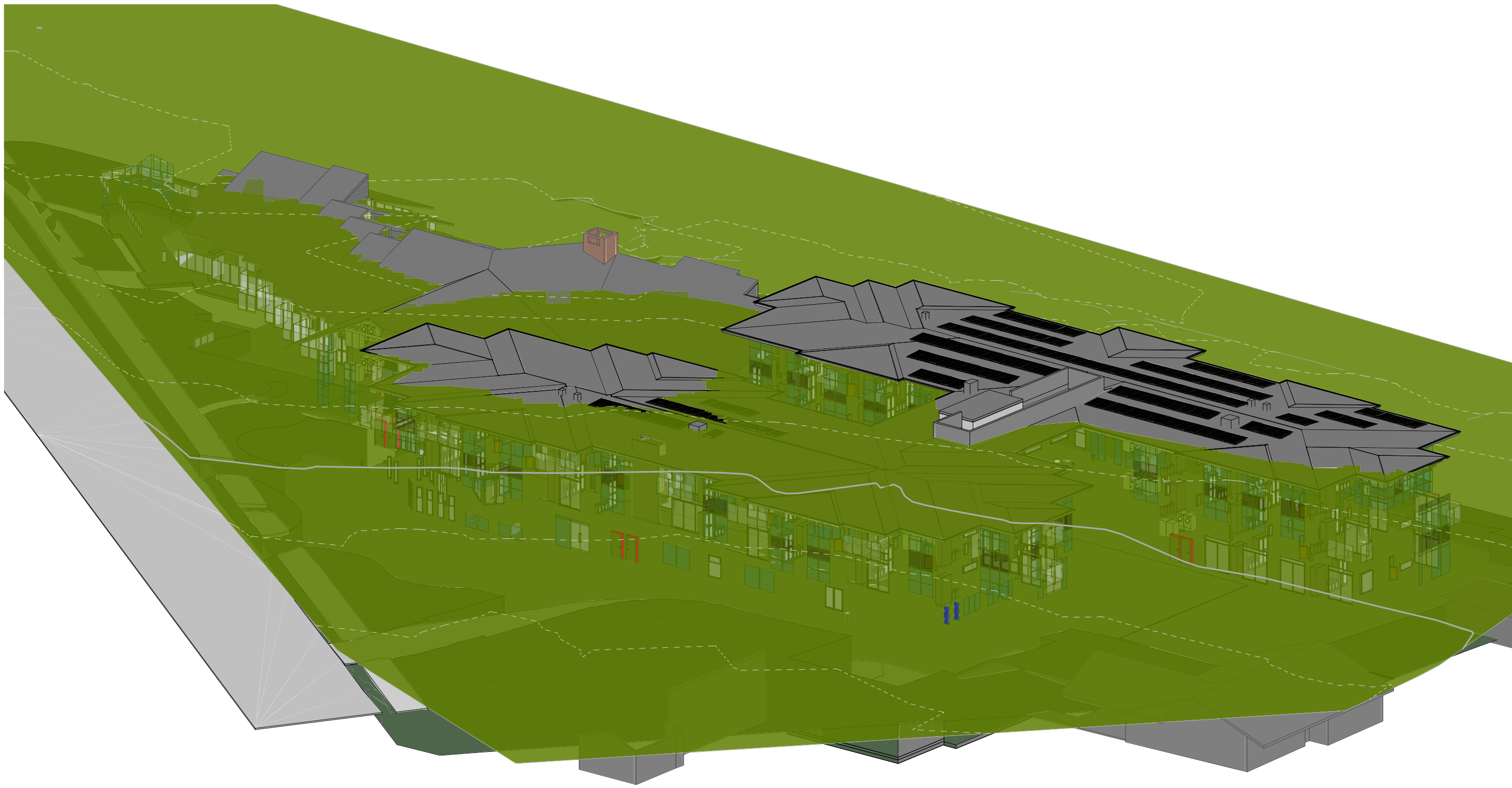




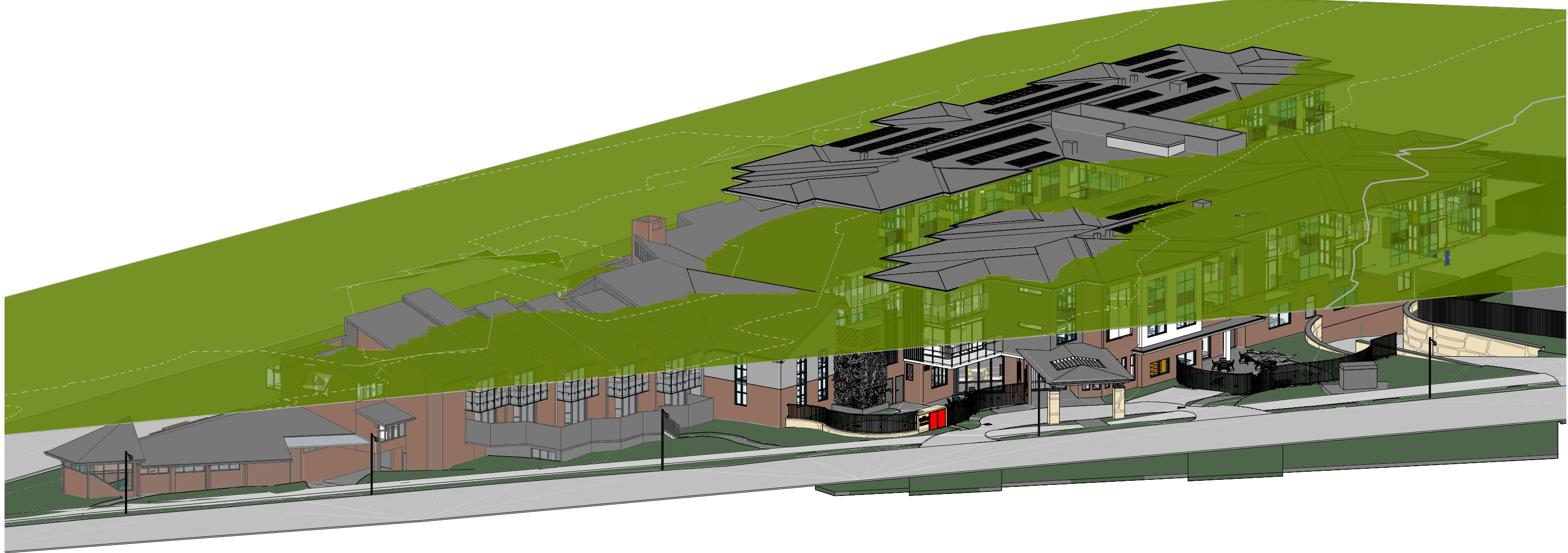
1 NORTH-EAST VIEW  
SCALE



2 NORTH-WEST VIEW  
SCALE



3 SOUTH-EAST VIEW  
SCALE



4 SOUTH-WEST VIEW  
SCALE

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.

CLIENT

**Uniting**

architecture  
interior design  
project management

NSW A/B REG. ARCHITECT: G. OLLERTON #7621  
ACN: 001 595 268 ABN: 44 001 595 268 mormondesign@mdpa.com.au  
Suite 302/69 Christie Street St. Leonards NSW 2065 | 02 99665566 | www.mdpa.com.au

PROJECT

**UNITING St COLUMBA'S**

11-15 FIG TREE STREET, LANE COVE  
LOT 2 DP184731  
LOTS A, B, C & D DP385033  
LOTS 1, 2 & 3 DP339444

© Copyright  
These drawings and designs and the copyright thereof are the property of Morrison Design Partnership Pty. Ltd. and must not be used retained or copied without the written permission of Morrison Design Partnership Pty. Ltd. ACN: 001 595 268  
BIM 360://3108 - Uniting St Columba Lane Cove/3108 - Uniting St Columbia CENTRAL(V20).rvt

DRAWING TITLE

**DCP ENVELOPE ANALYSIS**

REV	DATE	AMENDMENT	INITIALS	CHECK
DA01	2020-08-11	DA ISSUE	MM	

PROJECT NO.	DRAWING NO.	REVISION
3108	DA920	DA01

SCALE 1:1 @ A1

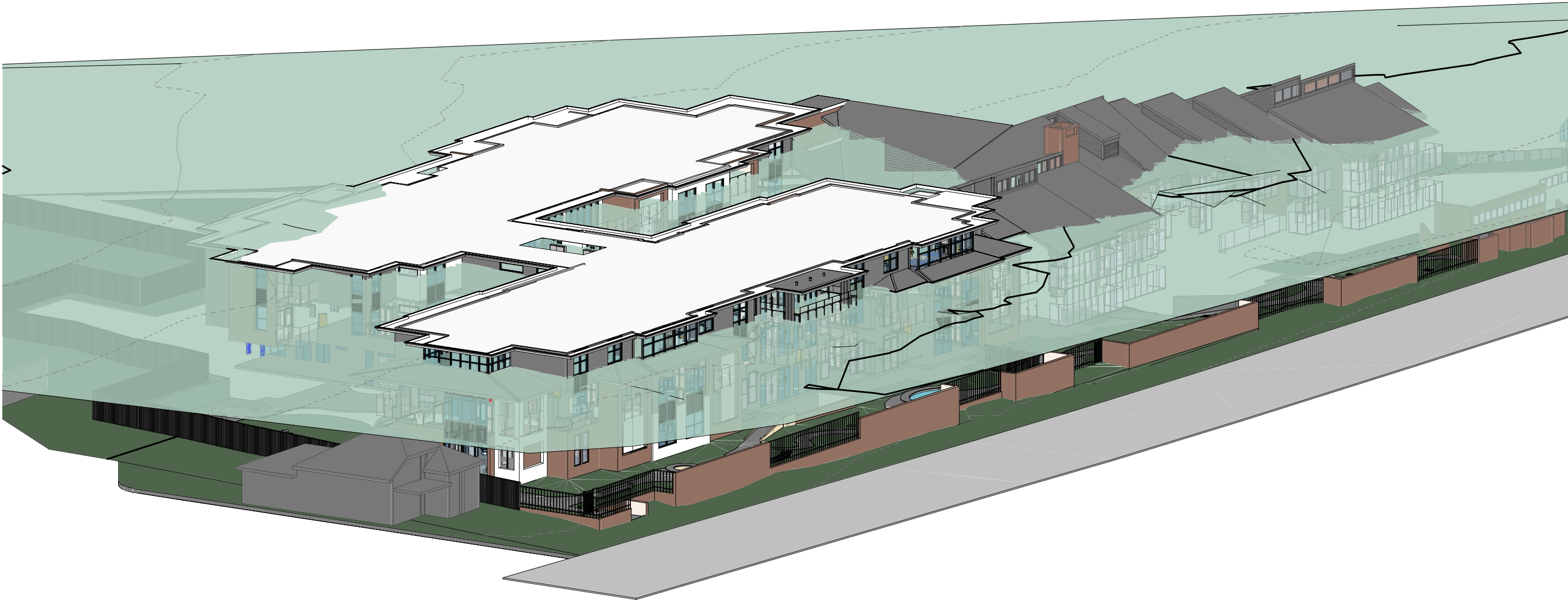
DRAWN Author

PROJECT PRINCIPLE G. OLLERTON

DATE 27.10.2016

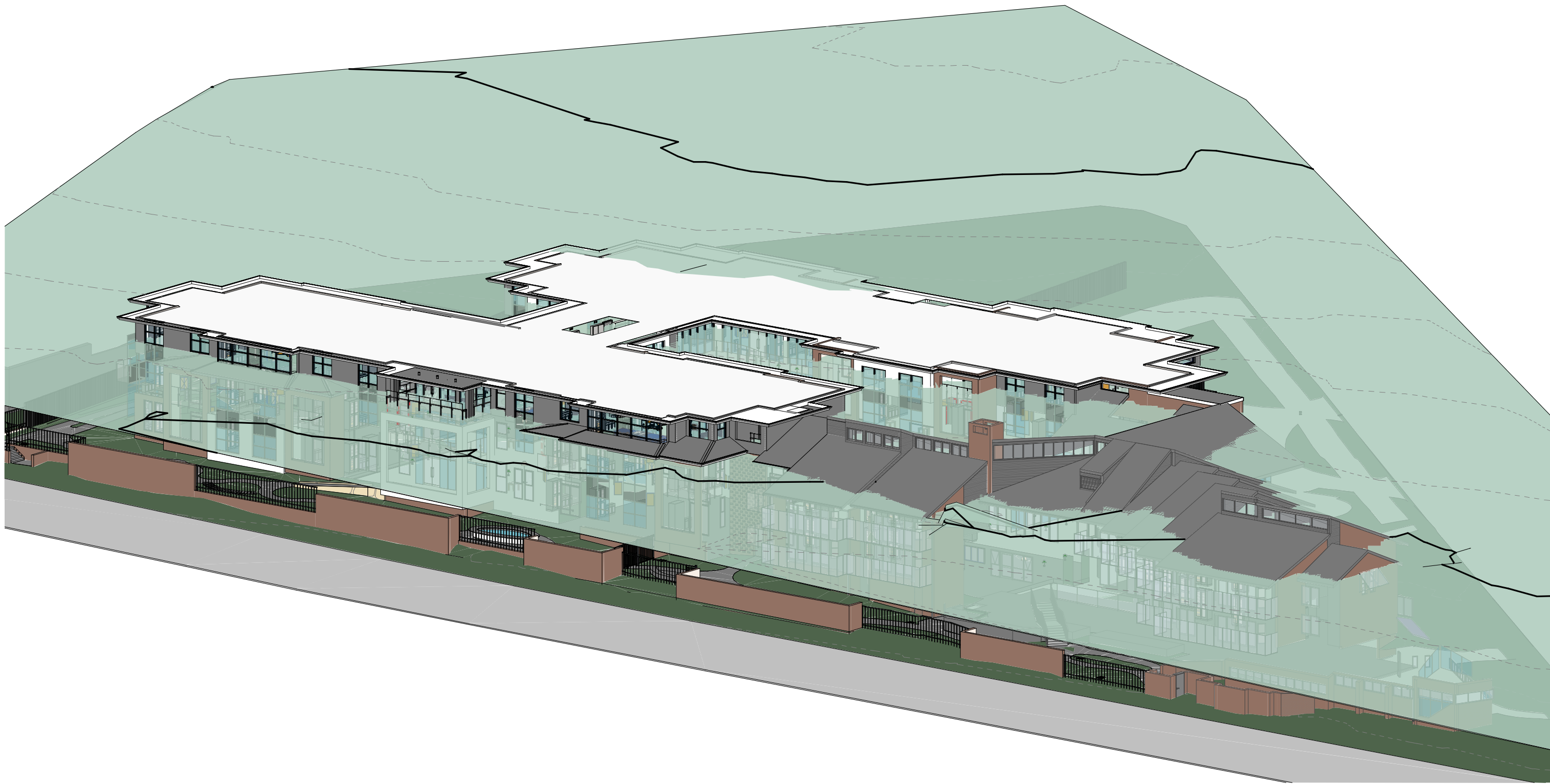
**Morrison  
Design  
Partnership**  
ARCHITECTS  
Since 1969





1 NORTH-EAST VIEW 8m HEIGHT PLANE

SCALE



2 NORTH-WEST VIEW 8m HEIGHT PLANE

SCALE



3 SOUTH-EAST VIEW 8m HEIGHT PLANE

SCALE



4 SOUTH-WEST VIEW 8m HEIGHT PLANE

SCALE

NOTE

THIS BUILDING INCORPORATES A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55 OF THE STATE ENVIRONMENTAL PLANNING POLICY (HOUSING FOR SENIORS OR PEOPLE WITH A DISABILITY) 2004 AND PART E1.5 OF THE BUILDING CODE OF AUSTRALIA 2019.